

# Starksboro Development Review Board Agenda

Thursday, April 23, 2026 @ 6:30 pm.

\*TOWN CLERK'S OFFICE AND VIA ZOOM\*

Instructions for remote participation below

TIME	TOPIC
6:30	<b>Meeting called to order</b> Review agenda for addition, removal, or adjustment of any items per 1 V.S.A. §312(d)(3)(A).
6:35	Public Comment for non-agenda items only
6:40	Review and approve outstanding minutes. Amend approved minutes from 2/26/2026-Boss Kelly Hearing to add the following paragraph under Testimony: <ul style="list-style-type: none"><li>J.Barnard noted that Barnard &amp; Gervais located the sand and gravel pit extents on the plan by surveying a couple of edges and by orthophoto tracing. J.Barnard confirmed B.Campbell's stated assumption that they did not fully survey out the rim of the pit.</li></ul>
7:00	26-DRB-01PUD 9-Lot Planned Unit Development Preliminary Plan Review Hearing: Alan and Nancy Norris, Parcel 10815, 2798 VT Route 17
8:00	Deliberative Session
8:30	<b>Adjournment</b>

The Town of Starksboro is inviting you to a scheduled Zoom meeting.

<https://us02web.zoom.us/j/89617415124>

Meeting ID: 896 1741 5124

Join by Phone:  
1-305-224-1968

Applicant name(s) Norris

Application # 26-DRB-01PUD

Date of Hearing: April 23, 2026

Type: Preliminary Plan Review

## Town of Starksboro

### Exhibit List

Exhibit #	Description	Date entered	notes
A	Warning dated 3/12/26 and Abutters mailing affidavit dated 3/9/26	3/9/26	
B	Cover letter by Barnard & Gervais dated 2/25/2026	3/9/26	
C	DRB PUD application dated		
D	Subdivision Narrative dated 2/25/2026	3/9/26	
E	List of Adjoining property owners	3/9/26	
F	VTrans Access Permit #47501 dated 12/19/2025, with application submittals, drawings, and site photos (23 pages)	3/9/26	
G	Vermont ANR Natural Resource Maps dated 1/14/25 (5 pages): <ul style="list-style-type: none"><li>• VSWI &amp; Advisory Wetlands</li><li>• River Corridors &amp; Special Flood Hazard Areas (SFHAs)</li><li>• Primary Agricultural Soils</li><li>• Wildlife Habitat &amp; RTE Species</li><li>• Slopes</li></ul>	3/9/26	
H	Dwg. PL-1: Nine-Lot Subdivision Survey Plat dated 1/29/2026	3/9/26	
I	Dwg. PL-2: Nine-Lot Subdivision Survey Plat dated 1/29/2026	3/9/26	
J	Dwg. PL-3: Nine Lot Subdivision Survey Plat dated 1/29/2026	3/9/26	

Applicant name(s) Norris

Application # 26-DRB-01PUD

Date of Hearing: April 23, 2026

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K	Dwg. PL-4: Nine Lot Subdivision Survey Plat dated 1/29/2026	3/9/26	
L	Dwg. S-1: Overall Subdivision Plan dated 1/29/2026	3/9/26	
M	Dwg. S-2: Lots 1-7 Subdivision Plan dated 1/29/2026	3/9/26	
N	Dwg. S-3: Lots 1 & 2 Site Plan dated 1/29/2026	3/9/26	
O	Dwg. S-4: Lots 3 & 4 Site Plan dated 1/29/2026	3/9/26	
P	Dwg. S-5: Lots 5 & 6 Site Plan dated 1/29/2026	3/9/26	
Q	Dwg. D-1 Lots 1,2 & 3 Wastewater System Details dated 1/20/2026	3/9/26	
R	Dwg. D-2 Lots 4,5 &6 Wastewater System Details and Notes dated 1/20/2026	3/9/26	
S	Dwg. D-3: Septic Tank, Pump Station, Distribution Box and Water System dated 1/29/2026	3/9/26	
T	Dwg. D-4: Erosion & Stormwater Control Details and Notes dated 1/29/2026	3/9/26	
U	3/4/2026 Applicant response letter to ZA 3/2/2026 review comments.	3/9/26	
V	5/22/2025 Pre-application meeting 25-DRB-04SD minutes	3/9/26	
W	March 23-25, 2026 Email and May 3, 2025 Letter correspondence from Charlotte Sullivan to ZA/DRB	3/26/26	
X	State Wastewater Permit WW-9-3539 recorded March 23,2026	3/26/26	
Y	April 1, 2026 Email correspondence from Jennifer Lovett to ZA/DRB	4/1/26	

Applicant name(s) Norris

Application # 26-DRB-01PUD

Date of Hearing: April 23, 2026

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Z	April 6, 2026 Email correspondence, ZA with Jeff Olesky and Barnard and Gervais re: Stormwater permitting.	4/10/26	
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**TOWN OF STARKSBORO**  
**DEVELOPMENT REVIEW BOARD**  
**REVISED NOTICE OF HEARING**

Alan and Nancy Norris submitted application 26-DRB-01PUD for a Preliminary Plan Review Hearing for a 9-lot Planned Unit Development (PUD) located on a 84.89+/- acre parcel #10815 at 2798 VT Route 17 in the Town of Starksboro. The proposed PUD is in the ASRR, LDRC, and HDRC districts. The Preliminary Plan Review Hearing on this application will be held per Section 427 of the Starksboro Land Use and Development Regulations (SLUDR).

The Starksboro Development Review Board will conduct the hearing on **April 23, 2026**, starting at 6:30p.m. at the Starksboro Town Office with remote access (info below). The full application is available to review by request of the Starksboro zoning office, and on the website at <https://www.starksborovt.org/agendas-and-minutes>

Pursuant to 24 V.S.A. §§ 4464(a)(1)(C) participation in this local proceeding is prerequisite to the right to take any subsequent appeal.

Town of Starksboro is inviting you to a scheduled Zoom meeting.

<https://us02web.zoom.us/j/89617415124>

Meeting ID: 896 1741 5124

Or by Phone: +13052241968

Warning Date : March 19, 2026

Town of Starksboro

PO Box 91, Starksboro VT 05487  
zoning@starksborovt.org

ABUTTERS MAILING AFFADAVIT

Pursuant to section #410 of the Starksboro Land Use Development Regulations I, Stephen Rooney, Zoning Administrator for the Town of Starksboro, hereby acknowledges that on 3/16/26 that I sent by US 1<sup>st</sup> class mail the attached "revised notice of public hearing", for application 26-DRB-01PUD to the following list of abutting property owners and others requesting notice.

  
\_\_\_\_\_  
Stephen Rooney, Zoning Administrator

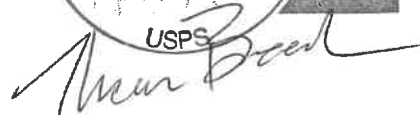
Date: 3/16/26

I attest by my signature below that I have reviewed this list and that it was mailed on 3/16/26.

Attest:  \_\_\_\_\_, Town Clerk/ Assistant Town Clerk/ Town Admin

Applicants: Alan and Nancy Norris, PO Box 368, Hinesburg VT 05461

Abutters or Participants	
Parcel #	Name and Address
11079	Kelly M. & Kathleen A. Norris Revocable Trust 2951 VT Route 17 Starksboro, VT 05487
11095	Mark & Michele Cruise 2403 Buttonwood Road Berwyn, PA 19312
10754	Gordon T. & Nancy Ann Schaedel 3275 VT Route 17 Starksboro, VT 05487
10097	Kit & Karen Harris 3556 VT Route 17 Starksboro, VT 05487
10444	Alan Kirkpatrick 864 Jim Dwire Road Bristol, VT 05443
10332	William E. & Linda A. Hanf 763 Jim Dwire Road Bristol, VT 05443
10552	Bart & Kristen Miceli 637 Jim Dwire Road Bristol, VT 05443
10370	Jody A. Higgs 537 Jim Dwire Road Bristol, VT 05443
11070	Thomas Building & Design, Inc. 839 Jerusalem Road Bristol, VT 05443
10668	Charles & Jennifer Lovett 348 Sam Stokes Road Starksboro, VT 05487

STARKSBORO VT  
05487-9998  
MAR 16 2026  
USPS  


# **BARNARD & GERVAIS, LLC**

*Land Surveyors, Licensed Designers, Environmental Consultants*

www.barnardandgervais.com



February 25, 2026

Town of Starksboro  
Attn: Amy McCormick  
PO Box 91  
Starksboro, VT 05487

**Town of Starksboro  
RECEIVED  
2/25/2026**

Subject: Alan & Nancy Norris, Nine-Lot Subdivision, 2798 VT Route 17, South Starksboro, Vermont – Preliminary Plan Hearing Application and Required Information

Dear Amy:

I am writing on behalf of Alan & Nancy Norris to formally request a Preliminary Plan hearing for a proposed Nine-Lot Subdivision relative to their 84.89± acre parcel of land located at 2798 VT Route 17 in Starksboro, Vermont.

In accordance with the Town of Starksboro Land Use and Development Regulations, the following items are respectfully submitted:

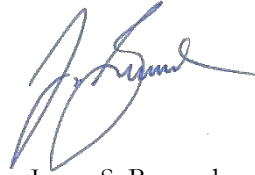
1. Town of Starksboro Development Review Board (DRB) Application.
2. Town of Starksboro Zoning Permit Application
3. Project Narrative.
4. Names and Addresses of Adjoining Property Owners.
5. VTans Highway Access Permit #47501.
6. Vermont ANR Natural Resource Maps:
  - a. VSWI & Advisory Wetlands.
  - b. River Corridors & SFHAs.
  - c. Primary Agricultural Soils.
  - d. Wildlife Habitat & RTE Species.
  - e. Slopes.
7. Survey Plat, dated 01-29-2026:
  - a. Drawing PL-1 – Nine-Lot Subdivision Survey Plat (Sheet 1 of 4).
  - b. Drawing PL-2 – Nine-Lot Subdivision Survey Plat (Sheet 2 of 4).
  - c. Drawing PL-3 – Nine-Lot Subdivision Survey Plat (Sheet 3 of 4).
  - d. Drawing PL-4 – Nine-Lot Subdivision Survey Plat (Sheet 4 of 4).
8. Design Drawings:
  - a. Drawing S-1 – Overall Subdivision Plan (2026-01-29).
  - b. Drawing S-2 – Lots 1-7 Subdivision Plan (Rev 2026-02-19).
  - c. Drawing S-3 – Lots 1 & 2 Site Plan (Rev 2026-02-19).
  - d. Drawing S-4 – Lots 3 & 4 Site Plan (Rev 2026-02-19).
  - e. Drawing S-5 – Lots 5 & 6 Site Plan (2026-01-29).
  - f. Drawing D-1 – Lots 1, 2 & 3 Wastewater Systems Details and Notes (2026-01-20).
  - g. Drawing D-1 – Lots 4, 5 & 6 Wastewater Systems Details and Notes (2026-01-20).
  - h. Drawing D-3 – Water & Wastewater Systems Details and Notes (2026-01-29).
  - i. Drawing D-4 – Erosion & Stormwater Control Details and Notes (2026-02-29).

9. Application Fee of \$2,425:

- a. Major Subdivision/PUD - \$2,350 (\$550 + 9 Lots x \$200/Lot)
- b. DRB Preliminary Hearing - \$ 75 (Base Fee)

Please review the included information and let me know if there are any other items that are required for the Preliminary Plan hearing. In the meantime, should you have any questions or comments, please do not hesitate to give me a call at (802) 482-2597.

Sincerely,



Jason S. Barnard  
Licensed Designer #126179

c: Alan & Nancy Norris

# Development Review Board Application

Exhibit C

Town of Starksboro

P.O. Box 91, Starksboro, VT 05487

Parcel ID Number: 10815 Address of property: 2798 VT Route 17, Starksboro

Owners of Record: Alan & Nancy Norris

Mailing Address: PO Box 368, Hinesburg, VT 05461

Signature of Owners: Alan & Nancy Norris

Applicant: Alan & Nancy Norris

Mailing Address: PO Box 368, Hinesburg, VT 05461

Signature of Applicants: Alan & Nancy Norris

Application Type: (check only one)

- Home-based/On Farm Business (per chapter 340)
- Variance (per section 422)
- Waiver (per section 423)
- Site Plan Review (per section 424)
- Conditional Use Review (per section 425)
- Subdivision (per chapter 350 and section 426)  
\_\_\_\_\_ Minor      X Major      Total # Lots 9
- Planned Unit Development (per chapter 350 and section 427)
- Change of a nonconforming/Abandonment or Discontinuance (per chapter 120)
- Appeal from decision of Zoning Administrator (per section 421)
- Other

Town of Starksboro  
**RECEIVED**  
2/25/2026

Reason for application or appeal: Residential Subdivision

Specific relief requested: Proposed Lot 6 area is 2.16+/- acres (ASRR standard is 0.5 to 2.0 acres)

Section of Town bylaw/regulation in question: Sec. 426 Subdivision Review & Sec. 427 PUD Review

- The property owner or applicant will submit with this application the applicable fees, together with appropriate plans, diagrams, sketches, maps and/or all additional pertinent information and data as required by statute and the Town's Bylaws in reference to the above application or appeal.

## Administrator/DRB use only

Application Number: 26-DRB-01PUD Zoning District: ASRR, LDRC, HDRC, FHO

Fee Paid: \$2475 Date Received Complete: 3/9/2026

Public Notice date: 3 /12/26 Preliminary Hearing date: 4 /9 /26 Date of Prelim. Determination:   /  /  

DRB Chair: \_\_\_\_\_ DRB Clerk/ZA: \_\_\_\_\_

Zoning office notes: See attached minutes from Pre-application meeting 25-DRB-04SD on 5/22/2025

Alan & Nancy Norris  
Nine-Lot Subdivision  
2798 VT Route 17  
South Starksboro, Vermont

Subdivision Narrative  
February 25, 2026



**Project Description**

Alan & Nancy Norris own an 84.89± acre parcel of land located at 2798 VT Route 17 in South Starksboro. The parcel is located on the easterly side of VT Route 17 and historically contained a residential structure with various agricultural outbuildings and a gravel pit. The parcel is currently used for agricultural purposes as well as forested land.

Alan & Nancy Norris are proposing to complete a nine-lot subdivision of the subject parcel. The purpose of this subdivision is to create six (6) new developable residential parcels with an undeveloped parcel (Lot 7) in the center of the subdivision that would be used for common land. The parcels will range in size from 1.04± acres to 2.16± acres. Lots 1 through 6 will each be improved with a single-family residence that will be served by an individual wastewater system and individual drilled bedrock well. Lot 7 will be 1.36± acres in size and will be common land to benefit the six residential parcels. Lot 8 will be 24.53± acres and will include the former gravel pit that will be reclaimed. The remaining land (Lot 9) will be 50.50± acres and will be comprised mostly of forestland, including 4.73± acres of Open Space along Hallock Brook.

As part of this project and since the subdivision is being proposed as a Planned Unit Development (PUD), a portion of the parcel will be conserved and set aside along the easterly property boundary. This land will continue to be utilized for forest management and recreational purposes. No future development of this conserved land is proposed.

**Town of Starksboro, Land Use and Development Regulations**

In accordance with **Section 426.E Review Criteria** of the Town of Starksboro Land Use and Development Review regulations, the applicant shall demonstrate to the Development Review Board (DRB) that the proposed Subdivision conforms to the review criteria listed below.

- 1) **Siting and Suitability** – The proposed subdivision will create six (6) new developable parcels on the east side of VT Route 17. The proposed residential homes are situated at locations that contain well drained soils and gently sloping to level topography. The proposed subdivision has been designed in accordance with the density and dimensional standards presented in Section 211 of the Starksboro Land Use Regulations. In accordance with LUR section 358.D, a modification is proposed to permit Lot 6 to be 2.16± acres in size. Building envelopes are established on Lots 1-6 as required under sections 254.C and 358.G(1)(b).
- 2) **Natural Features** – The proposed subdivision boundaries are based on existing natural features, site improvements and historic land use to the greatest extent practicable. The existing parcel configuration, along with topographic features and contours, field/forest edges, access, waterways, and infrastructure (i.e. wastewater systems and water supply wells). Proposed Lots 1 & 2 are being proposed along the base of a south sloping hillside that has well drained soils and is well suited for solar gain. Proposed Lots 3-6 will be located within close proximity to an existing tree line in order to blend the structure into

the wooded portion of the property. No new development is being proposed within flood hazard areas and the project will not have undue adverse impact on significant wildlife habitat. There are Class II wetlands associated with the parcel and all existing infrastructure will be adequately isolated from any Class II wetlands.

- 3) **Character of the Area and Privacy** – The general character of the area associated with this general area of Starksboro are single-family rural residential homes, businesses and agriculture. As proposed, the subdivision creates six (6) developable lots on the easterly side of VT Route 17 along the edge of an existing field. The proposed homes are clustered responsively to the natural boundaries of the hill to the north and Hallock Brook to the east and south. These natural boundaries act as substantial buffers within the subdivision and between adjoining parcels. As tabulated on survey plat drawing PL-1, the proposed subdivision involves six (6) of the parcel’s sixteen (16) total permitted dwelling units. These six units on Lots 1-6 occupy only 8.49± acres of the 84.89± acres total parcel area. Therefore, the proposed subdivision will accommodate 37.5% of the parcel’s total development potential on only 10% of the total parcel area.
  
- 4) **Energy Conservation and Access to Renewable Energy** – The proposed new residential homes will meet the most recent energy conservation standards, including the Vermont Residential Building Energy Standards (VT-RBES).
  
- 5) **Access and Circulation** – The proposed parcels will be accessed from VT Route 17 via a private gravel road located within a 50’ wide right-of-way. The two (2) existing curb cuts at this area will be consolidated into one (1) access constructed to VTrans A-76 Standards for Town and Development Roads. Within the subdivision, each proposed residence will be accessed by an individual gravel drive. The proposed subdivision will not have an undue adverse impact on the condition, capacity, safety or function of VT Route 17; VTrans Highway Access Permit #47501 has been issued for this project.
  
- 6) **Infrastructure, Utilities, Facilities and Services** – VT Route 17 is currently a state highway and will continue to be maintained by the Vermont Agency of Transportation (VTRANS). Starksboro presently provides fire service to this area and will continue to provide this service. A 20’ wide gravel road with hammerhead-T turn-around area is provided for suitable emergency vehicle access. Utilities are currently located within the VT Route 17 right-of-way and will be extended underground for the proposed service connections. Water supply and wastewater disposal will be accommodated on-site.
  
- 7) **Lighting** – Any new lighting will be typical of rural residential homes and will be installed so that exterior lighting is down-shielded to mitigate light trespass off the proposed parcels and therefore all new exterior lighting will be compliant with Section 314 of the Town of Starksboro Land Use Regulations.
  
- 8) **Recreation** – The proposed subdivision includes a total 6.09± acres of Open Space that will be conserved for the occupants’ recreational use. This 6.09± acres equals approximately 72% of the 8.49± acre development area (Lots 1-6). Lot 7 provides 1.36± acres of Open Space as a horseshoe-shaped common area among the homes, while Lot 9 includes 4.73± acres along Hallock Brook and bounded by the existing woods trails. The individual owners of Lots 1-6 will share ownership of Lot 7, and will have access to the Lot 9 via existing trails and walking paths.

In accordance with **Section 427.D Review Criteria** of the Town of Starksboro Land Use and Development Review regulations, the applicant shall demonstrate to the Development Review Board (DRB) that the proposed PUD conforms to the review criteria listed below.

- 1) **Siting and Suitability** – The proposed subdivision will create six (6) new developable parcels on the east side of VT Route 17. The proposed residential homes are situated at locations that contain well drained soils and gently sloping to level topography. The proposed subdivision has been designed in accordance with the density and dimensional standards presented in Section 211 of the Starksboro Land Use Regulations. In accordance with LUR section 358.D, a modification is proposed to permit Lot 6 to be  $2.16\pm$  acres in size. Building envelopes are established on Lots 1-6 as required under sections 254.C and 358.G(1)(b).
- 2) **Natural Features** – The proposed subdivision boundaries are based on existing natural features, site improvements and historic land use to the greatest extent practicable. The existing parcel configuration was taken into consideration, along with topographic features and contours, field/forest edges, access, waterways, and infrastructure (i.e. wastewater systems and water supply wells). Proposed Lots 1 & 2 are being proposed along the base of a south sloping hillside that has well drained soils and is well suited for solar gain. Proposed Lots 3-6 will be located within close proximity to an existing tree line in order to blend the structure into the wooded portion of the property. No new development is being proposed within flood hazard areas and the project will not have undue adverse impact on significant wildlife habitat. There are Class II wetlands associated with the parcel and all existing infrastructure will be adequately isolated from any Class II wetlands.
- 3) **Character of the Area and Privacy** – The general character of the area associated with this general area of Starksboro are single-family rural residential homes, businesses and agriculture. As proposed, the subdivision creates six (6) developable lots on the easterly side of VT Route 17 along the edge of an existing field. The proposed homes are clustered responsively to the natural boundaries of the hill to the north and Hallock Brook to the east and south. These natural boundaries act as substantial buffers within the subdivision and between adjoining parcels. As tabulated on survey plat drawing PL-1, the proposed subdivision involves six (6) of the parcel's sixteen (16) total permitted dwelling units. These six units on Lots 1-6 occupy only  $8.49\pm$  acres of the  $84.89\pm$  acres total parcel area. Therefore, the proposed subdivision will accommodate 37.5% of the parcel's total development potential on only 10% of the total parcel area.
- 4) **Access and Circulation** – The proposed parcels will be accessed from VT Route 17 via a private gravel road located within a 50' wide right-of-way. The two (2) existing curb cuts at this area will be consolidated into one (1) access constructed to VTrans A-76 Standards for Town and Development Roads. Within the subdivision, each proposed residence will be accessed by an individual gravel drive. The proposed subdivision will not have an undue adverse impact on the condition, capacity, safety or function of VT Route 17; VTrans Highway Access Permit #47501 has been issued for this project.
- 5) **Infrastructure, Utilities, Facilities and Services** – VT Route 17 is currently a state highway and will continue to be maintained by the Vermont Agency of Transportation (VTRANS). Starksboro presently provides fire service to this area and will continue to provide this service. A 20' wide gravel road with hammerhead-T turn-around area is provided for suitable emergency vehicle access. Utilities are currently located within the VT Route 17 right-of-way and will be extended underground for the proposed service connections. Water supply and wastewater disposal will be accommodated on-site.

- 6) **Recreation** – The proposed subdivision includes a total 6.09± acres of Open Space that will be conserved for the occupants’ recreational use. This 6.09± acres equals approximately 72% of the 8.49± acre development area (Lots 1-6). Lot 7 provides 1.36± acres of Open Space as a horseshoe-shaped common area among the homes, while Lot 9 includes 4.73± acres along Hallock Brook and bounded by the existing woods trails. The individual owners of Lots 1-6 will share ownership of Lot 7, and will have access to the Lot 9 via existing trails and walking paths.
  
- 7) **Performance Standards** – The proposed project is a residential subdivision that is consistent in character with the surrounding area. Any noise, dust, light, odors or other nuisances are reasonably anticipated to be normal and customary for the proposed residential use, and substantially less nuisance than the passing Route 17 traffic. VTrans has evaluated the proposed project and confirmed that both VT Route 17 and the proposed access are suitable to accommodate the proposed subdivision, and has issued Highway Access Permit #47501. No bulk storage, fuel facilities or dumpsters are proposed. The proposed residences will use individual residential-scale trash & recycling bins that will be screened from off-site view.
  
- 8) **Site Plan Review Criteria** – The proposed PUD meets the site plan review criteria of section 424.D as follows:
  1. Siting and Design – The general character of the area associated with this general area of Starksboro are single-family rural residential homes, businesses and agriculture. Of the subject parcel’s sixteen (16) total potential lots/units, the proposed subdivision will create only six (6) developable lots, which will be situated on the easterly side of VT Route 17 along the edge of an existing field. The proposed homes are clustered responsively to the natural boundaries of the hill to the north and Hallock Brook to the east and south. These natural boundaries act as substantial buffers within the subdivision and between adjoining parcels. Building envelopes are established on each of the developable Lots 1-6.
  
  2. Vehicular Traffic and Circulation –The proposed parcels will be accessed from VT Route 17 via a private gravel road located within a 50’ wide right-of-way. The two (2) existing curb cuts at this area will be consolidated into one (1) access constructed to VTrans A-76 Standards for Town and Development Roads. Within the subdivision, each proposed residence will be accessed by an individual gravel drive. The proposed subdivision will not have an undue adverse impact on the condition, capacity, safety or function of VT Route 17; VTrans Highway Access Permit #47501 has been issued for this project.
  
  3. Pedestrian Traffic and Circulation – The proposed subdivision includes a 50’ wide right-of-way with a 20’ wide private gravel road that will provide suitable access to residential Lots 1-6, as well as the Open Space and remaining lands of Lots 7 & 9. Lot 9. The individual owners of Lots 1-6 will share ownership of Lot 7, and will have access to the Lot 9 via existing trails and walking paths.
  
  4. Parking – The proposed residential Lots 1-6 are each configured to accommodate a minimum of two (2) on-site parking spaces. The proposed 20’ wide private gravel road is suitable for on-street parallel parking to accommodate any overflow/temporary parking demands.

5. Stormwater and Snow Storage – The proposed residential homes are located on sites that contain well drained soils and gently sloping to level topography. Stormwater runoff will be accommodated by simple disconnection and/or infiltrative Best Management Practices (BMPs), passing through a minimum of 50’ vegetated buffer prior to entering receiving waters. The proposed private road’s 50’ wide right-of-way and individual lot setbacks provide sufficient space for on-site snow storage.
6. Lighting – Any new lighting will be typical of rural residential homes and will be installed so that exterior lighting is down-shielded to mitigate light trespass off the proposed parcels and therefore all new exterior lighting will be compliant with Section 314 of the Town of Starksboro Land Use Regulations.
7. Signs – No development advertising signs are proposed. The private road will include a standard E911-compliant road sign, with the road name to be coordinated & approved with/by the Selectboard and E911 Coordinator. Each individual residence will be marked with house numbers per E911 standards.
8. Landscaping – Each proposed residential Lot 1-6 will include suitable landscaping to enhance the property and screen trash & recycling if/as necessary. Further, street trees will be spaced along the private road to enhance the Lot 7 common area and partially screen the surrounding lots.
9. Energy Conservation – The proposed subdivision is configured as a compact cluster of homes that benefits from the efficient use of shared infrastructure with minimal extension of access & utilities. Each of the six (6) proposed residences will meet the most recent energy conservation standards, including the Vermont Residential Building Energy Standards (VT-RBES).
10. Compatibility with Town Plan and Other Regulations – The subject parcel spans across both the Rural and Upland Forest planning areas. Accordingly, the proposed subdivision is clustered along Route 17 in the Rural planning area. Consistent with the goals of this area as established in the Town Plan, the project will provide six (6) new homes at a low overall density with minimal impact to environmental quality.

In accordance with **Section 358 Planned Unit Developments (PUDs)** of the Town of Starksboro Land Use and Development Review regulations, the applicant shall demonstrate to the Development Review Board (DRB) that the project conforms to the review criteria listed below.

**358.A Definition and Purpose** – The proposed PUD is a holistic, well-planned alternative to conventional subdivision design involving larger lots that are more spread out with longer roads/drives and fragmentation of wildlife habitat. Instead, the proposed project accommodates over one-third of the total development potential on only 10% of the parcel area, located responsively to existing natural and man-made features/constraints.

**358.B Applicability** – The proposed subdivision is required to be designed as a PUD in accordance with LUR section 254.A (subdivision of 4 or more lots in the ASRR district).

**358.C Mixed-Use Development** – N/A; the proposed subdivision involves Single-Family Residential use.

**358.D Modification of Dimensional Standards** – While the subject parcel spans across multiple zoning districts, the proposed Lots 1-6 residences are located within the ASRR district. Therefore, Lots 1-6 are configured to comply with the ASRR dimensional standards, including minimum setbacks at the project perimeter and from ponds, streams and wetlands. In accordance with the provisions of 358.D, a modification is requested to permit Lot 6 to be  $2.16\pm$  acres in size.

**358.E Density Bonuses** – N/A; no density bonus is requested.

**358.F Phased Development** – The proposed PUD designates the current development area (Lots 1-6), proposed Open Spaces (Lot 7 & portion of Lot 9), and the remaining lands. Further, the subdivision establishes a 50' wide right-of-way for appropriate legal access.

**358.G Development Standards** – The proposed PUD is designed as a cluster of homes organized around a horseshoe-shaped common area. The lots sizes range from  $1.04\pm$  to  $2.16\pm$  acres in size, which is less than 200% of the ASRR maximum size. Each proposed Lot 1-6 includes a designated building envelope.

**358.H Open Space Standards** – The proposed subdivision includes a total  $6.09\pm$  acres of Open Space that will be conserved for the occupants' recreational use. This  $6.09\pm$  acres equals approximately 72% of the  $8.49\pm$  acre development area (Lots 1-6). Lot 7 provides  $1.36\pm$  acres of Open Space as a horseshoe-shaped common area among the homes, while Lot 9 includes  $4.73\pm$  acres along Hallock Brook and bounded by the existing woods trails.

**358.I Subdivision Standards** – The proposed subdivision includes the required easements and boundary information/monumentation. Draft legal documents for property deeds and maintenance of shared infrastructure and common area will be prepared for Final Plat review to address any conditions of Preliminary approval.

Exhibit E

Alan Norris  
VT Route 17  
Starksboro, VT 05487  
SPAN # 615-193-10815

Town of Starksboro  
**RECEIVED**  
2/25/2026

**Adjoining Property Owners**

SPAN # 615-193-11079

**Kelly M. & Kathleen A. Norris Revocable Trust**  
2951 VT Route 17  
Starksboro, VT 05487

SPAN # 615-193-11095

**Mark & Michele Cruise**  
2403 Buttonwood Road  
Berwyn, PA 19312

SPAN # 615-193-10754

**Gordon T. & Nancy Ann Schaedel**  
3275 VT Route 17  
Starksboro, VT 05487

SPAN # 615-193-10097

**Kit & Karen Harris**  
3556 VT Route 17  
Starksboro, VT 05487

SPAN # 615-193-10444

**Alan Kirkpatrick**  
864 Jim Dwire Road  
Bristol, VT 05443

SPAN # 615-193-10332

**William E. & Linda A. Hanf**  
763 Jim Dwire Road  
Bristol, VT 05443

SPAN # 615-193-10552

**Bart & Kristen Miceli**  
637 Jim Dwire Road  
Bristol, VT 05443

SPAN # 615-193-10370

**Jody A. Higgs**  
537 Jim Dwire Road  
Bristol, VT 05443

SPAN # 615-193-11070

**Thomas Building & Design, Inc.**

839 Jerusalem Road

Bristol, VT 05443

SPAN # 615-193-10668

**Charles & Jennifer Lovett**

348 Sam Stokes Road

Starksboro, VT 05487



Exhibit F

State of Vermont  
Policy, Planning & Intermodal Development Division  
Policy, Planning and Research Bureau  
Development Review & Permitting Services Section  
Barre City Place, 219 North Main Street  
Barre, VT 05641  
vtrans.vermont.gov

[phone] 802-636-0037  
[ttd] 800-253-0191

Agency of Transportation



December 19, 2025

Alan D. & Nancy E. Norris  
PO Box 368  
Hinesburg, VT 05461  
Via email: adnorris@gmavt.net

Subject: Starksboro, VT17, L.S. 0146+80 ~ 0152+06 RT  
PERMIT #47501, ACCESS FOR SUBDIVISION

Dear Alan & Nancy,

Your application for a permit to work within the State Highway right-of-way to remove two existing gravel drives, construct a new access per standard A-76, improve an existing field drive per standard B-71A and perform grading to achieve sight distance, to serve a 9-lot subdivision on 84.89+/- acres, at the location indicated, has been processed by this office and is enclosed.

Pursuant to Title 19 VSA § 1111(b), authorization for these accesses is strictly contingent upon their compliance with all local ordinances and regulations relating to highways and land use. Furthermore, under Title 19 VSA § 1111(g), the agency or a municipal designee may suspend this authorization if the accesses fail to comply with such ordinances and regulations. To enforce a suspension, the agency may also, at its discretion, physically close the accesses.

This permit addresses only access to, work within, and drainage affecting the State highway. It does not address other possible transportation issues, such as access to town highways, use of private roads, and use of railroad crossings. If relevant to the proposed development, such issues must be addressed separately.

Please note the following required actions on your part, as detailed in the attached Special Conditions:

- Before beginning construction, you are required to contact District Transportation Office #5 at (802) 655-1580 for a preconstruction meeting.
- You are required to record the enclosed Notice of Permit Action in the town land records and submit a recorded copy to us by 1/19/2026.
- After construction is complete, you are required to contact District 5 again for an inspection / acceptance.

Sincerely,

DocuSigned by:  
*Ed Pierce*  
AC082480A0D6459...

Permit Coordinator (802) 498-8946

Enclosures

cc: District Transportation Office #5  
Barnard & Gervais, LLC

PERMIT ID# 47501

Exhibit F

FOR AGENCY USE ONLY

Town: Starksboro
Route: VT 17
Mile Marker: 2.78 - 2.88
Log Station: 146+80 - 152+06 RT

VERMONT AGENCY OF TRANSPORTATION
State Highway Access and Work Permit

Owner's/Applicant's Name, Address, E-mail & Phone No. Alan D. & Nancy E. Norris

P.O. Box 368, Hinesburg, VT 05461 adnorris@gmavt.net 802-734-8717

Co-Applicant's Name, Address, E-mail & Phone No. (if different from above)

The location of work (town, highway route, distance to nearest mile marker or intersection & which side)
Starksboro; easterly side of VT Rte. 17, approx. 0.45 mi. north of the intersection w/ Robert Young Rd.

Description of work to be performed in the highway right-of-way (attach plan)

- 1. Existing gravel drive to be improved to a private road (Location 'B' on site plan)
2. Existing field access to be improved to a gravel drive (Location 'C' on site plan)
3. Grading as indicated to maintain 550' sight distances.

Property Deed Reference Book: 99 Page: 174 (only required for Permit Application for access)

Fee \$ (fees do not apply for residential or agricultural purposes)

Is a Zoning Permit required? Yes [X] No [ ] - If Yes, #

Is a 30 VSA § 248 permit required? Yes [ ] No [X] - If Yes, #

Is an Act 250 permit required? Yes [ ] No [X] - If Yes, #

Other permit(s) required? Yes [ ] No [ ] - If Yes, name and # of each Wastewater (WW-9-####), Con

Date applicant expects work to begin April 16 20 27

Owner/Applicant: Alan Norris Position Title: Owner

(Print name above)

Sign in Shaded area: [Signature] Date: 10/27/2025

Co-Applicant: Nancy Norris Position Title: Owner

(Print name above)

Sign in Shaded area: [Signature] Date: 10/27/2025

INSTRUCTIONS: -Contact the Development Review and Permitting Services Section (802.636.0037) or your local area Transportation Maintenance District Office to determine your issuing authority. The issuing authority will determine what plans, fee and other documents are required to be submitted with your Vermont Statutes Annotated, Title 19, Section 1111, permit application request.

- Original signatures are required on an original Form. The Owner/Applicant and Co-Applicant (if applicable) declares under the pains and penalty of perjury that all information provided on this form and submitted attachments are to the best of their knowledge true and complete.

FEE: -See Fee Schedule for applicable administrative processing and application review fee.

PERMIT APPROVAL

REMOVE TWO EXISTING GRAVEL DRIVES, CONSTRUCT A NEW ACCESS PER STANDARD A-76, IMPROVE AN EXISTING FIELD DRIVE PER STANDARD B-71A AND PERFORM GRADING TO ACHIEVE SIGHT DISTANCE, TO SERVE A 9-LOT SUBDIVISION ON 84.89+/- ACRES

The work is subject to the restrictions and conditions on the reverse page, plus the Special Conditions stated on the attached page(s).

Date work is to be completed DECEMBER 1, 2027

Date work accepted:

Signed by: Theresa Gilman
10220048B424498...
Authorized Representative for Secretary of Transportation

Issued Date 12/19/2025

By: DTA or Designee

NOTICE: This permit covers only the Vermont Agency of Transportation's jurisdiction over this highway under Vermont Statutes Annotated, Title 19, Section 1111. It does not release the petitioner from the requirements of any other statutes, ordinances, rules or regulations. This permit addresses only access to, work within, and drainage affecting the state highway. It does not address other possible transportation issues, such as access to town highways, use of private roads, and use of railroad crossings. If relevant to the proposed development, such issues must be addressed separately.

No work shall be done under this permit until the owner/applicant has contacted the District Transportation Office at:

(802) 655-1580

July 1, 2016 (All previously dated editions are not valid)

Applicant to Complete

**RESTRICTIONS AND CONDITIONS**

Exhibit F

**DEFINITIONS:**

"Agency" means the Vermont Agency of Transportation (a/k/a VTrans).

"Engineer" means the authorized agent of the Secretary of Transportation.

"Owner/Applicant" means the party(s) to whom the permit is to be issued.

"Co-Applicant" means the party who performs the work, if other than Owner/Applicant or a secondary Owner/Applicant under a joint permit application.

"Permit Holder" means the party who currently owns the lands abutting the highway that are the subject of the permit.

**GENERAL:**

By accepting this permit, or doing any work hereunder, the Owner/Applicant agrees to comply with all of the restrictions and conditions and any imposed special conditions. If the Owner/Applicant is aggrieved by the restrictions and conditions or special conditions of the permit, they shall submit a written request for consideration to the Engineer within 30-days of permit issuance and prior to starting any work. No work will be authorized by the Agency, or performed under the permit, until the dispute is fully resolved.

Vermont Statutes Annotated, Title 30, Chapter 86 ("Dig Safe") requires notice to Dig Safe before starting excavation activities. The Permit Holder or his/her contractor must telephone Dig Safe at 811 at least 48 hours (excluding Saturdays, Sundays and legal holidays) before, but not more than 30 days before, starting excavation activities at any location. In addition, please note that the Agency and many municipalities are not members of Dig Safe and will need to have their utility facilities investigated with due diligence prior to starting excavation activities in or on the State Highway right-of-way.

The Permit Holder is to have a supervisory representative present any time work is being done in or on the State Highway right-of-way. A copy of this permit and Special Conditions must be in the possession of the individual performing this work for the Permit Holder.

Except with the specific, written permission of the District Transportation Administrator, all work in the State Highway right-of-way shall be performed during normal daylight hours and shall cease on Sunday, on all holidays (which shall include the day before and the day following), during or after severe storms, and between December 1 and April 15. These limitations will not apply for the purposes of maintenance, emergency repairs, or proper protections of the work which includes, but not limited to, the curing of concrete and the repairing and servicing of equipment.

The Owner/Applicant shall be responsible for all damages to persons or property resulting from any work done under this permit, even if the Applicant's Contractor performs the work. All references to the Owner/Applicant also pertain to the Co-Applicant.

The Owner/Applicant must comply with all federal and state statutes or regulations and all local ordinances controlling occupancy of public highways. In the event of a conflict, the more restrictive provision shall apply.

The Owner/Applicant must, in every case where there is a possibility of injury to persons or property from blasting, use a pre-approved Blasting Plan. All existing utility facilities shall be protected from damage or injury.

The Owner/Applicant shall erect and maintain barriers needed to protect the traveling public. The barriers shall be properly lighted at night and must be MUTCD (Manual on Uniform Traffic Control Devices) compliant.

All temporary and permanent traffic control measures and devices shall be MUTCD compliant.

The Owner/Applicant shall not do any work or place any structures or obstacles within the State Highway right-of-way, except as authorized by this permit.

The Owner/Applicant may pay the entire cost of the salary, subsistence and traveling expenses of any inspector appointed by the Engineer to supervise such work.

The Engineer may modify or revoke the permit at any time for safety-related reasons, without rendering the Agency or the State of Vermont liable in any way.

In addition to any other enforcement powers that may be provided for by the law, the Engineer may suspend this permit until compliance is obtained. If there is continued use or activity after suspension, the Engineer may physically close the work area and take corrective action to protect the safety of the highway users.

The Permit Holder shall be responsible to rebuild, repair, restore and make good all injuries or damage to any portion of the highway right-of-way that has been brought about by the execution of the permitted work, for a minimum period of eighteen (18) months after final inspection by the District.

Any approved variance from the permitted plans is to be recorded on "as-builts" with copies provided to both the Chief of Permitting Services and the District Transportation Administrator.

**ACCESS:**

**This permit (if for access) does not become effective until the owner/applicant records in the office of the appropriate municipal clerk, the attached "Notice of Permit Action"**

As development occurs on land abutting the highways, the Agency may revoke a permit for access and require the construction of other access improvements such as the combination of access points by adjoining owners.

Under Vermont Statutes Annotated, Title 19, Section 1111, no deed purporting to subdivide land abutting a state highway can be recorded unless all the abutting lots so created are in accordance with the standards of Section 1111.

The Permit Holder acknowledges and agrees that neither this permit nor any prior pattern of use creates an ownership interest or other form of right in a particular configuration or number of accesses to or through the highway right-of-way, and that the right of access consists merely of a right to reasonable access the general system of streets, and is not a right to the most convenient access or any specific configuration of access.

**DRAINAGE:**

The Owner/Applicant shall install catch basins and outlets as may be necessary, in the opinion of the Engineer, to preclude interference with the drainage of the state highway. Direct connections shall not be allowed without written approval.

**UTILITY WORK; CUTTING AND TRIMMING TREES:**

The Owner/Applicant shall obtain the written consent of the adjoining owners or occupants or, in the alternative, an order from the State Transportation Board in accordance with, Vermont Statutes Annotated, Title 30, Section 2506, regarding cutting of or injury to trees.

In general, all utilities shall be located adjacent to the State Highway right-of-way boundary line and shall be installed without damaging the highway or the highway right-of-way. No pole, push-brace, guy wire or other aboveground facilities shall be placed closer than 10 feet to the edge of traveled-way. If the proposed utility facilities are in conflict with the above, each location is subject to the approval of the Engineer.

Poles and appurtenances shall be located out of conflict with intersection sight distance, guardrail, ditches, signs, culverts, etc.

Where the cutting or trimming of trees is authorized by permit, all debris resulting from such cutting and trimming shall be removed from the State Highway right-of-way.

Open cut excavation for highway crossings is NOT the option of the Applicant, and may be utilized only where attempted jacking, drilling, or tunneling methods fail or are impractical. The Owner/Applicant shall obtain an appropriate modification of the highway permit from the Engineer before making an open cut.

**JOINT PERMITS:**

A joint permit application is required when more than one party will be involved with the construction, maintenance, and/or operation of the facility being constructed under this permit. Examples include, but are not limited to, joint ownership or occupancy of a utility pole line and construction of a municipal utility line by a contractor. Both utility companies, and in the second case, the municipality and the contractor, must be joint applicants.

# **BARNARD & GERVAIS, LLC**

*Land Surveyors, Licensed Designers, Environmental Consultants*

www.barnardandgervais.com



October 28, 2025

Ed Pierce, Permit Coordinator  
Policy, Planning and Intermodal Development  
Development Review and Permitting Services  
Vermont Agency of Transportation  
219 N. Main Street  
Barre, VT 05641

Subject: Alan D. & Nancy E. Norris, Nine-Lot Subdivision & Planned Unit Development,  
2798 VT Route 17, Starksboro, VT – Access and Work Permit Application

Dear Ed:

I am writing on behalf of Alan D. & Nancy E. Norris to request your review of the enclosed Access and Work Permit application relative to their 84.89± acre parcel located at 2798 VT Route 17 in Starksboro. The proposed subdivision access plan includes two (2) access points as follows:

- South Access** – To serve proposed Lots 1-7 & 9.
- North Access** – To serve proposed Lot 8.

As per our September 22, 2025 site visit, the Site Plan and Sight Distance Profiles have been prepared to demonstrate that the required 550' of sight distance is provided for both access points. As we discussed, there are multiple reasons why the proposed access locations are necessary to provide reasonable access to the subject property. To support your evaluation, listed below is a summary of the pertinent site conditions & constraints:

1. Parcel Size & Frontage – The subject parcel is 84.89± acres in size with 2,809± feet of frontage along VT Route 17. No other legal access is available around the remaining perimeter of the parcel.
2. Existing Access Points – The proposed access locations are existing accesses that will be improved; both have been in use historically for the subject property. The access to serve the proposed subdivision already exists and previously served a gravel pit, agricultural field, and farm house dating back 100+ years.
3. Steep Slopes – The area north of the proposed subdivision road is not accessible from the proposed subdivision road. Upon entering the proposed subdivision road, two homes (Lots 1 & 2) are proposed along/into the toe of the hill to the north. The south face of this hill is approximately 15% slope, which is too steep for access without effectively removing a substantial portion of the hill.
4. Gravel Pit – The presence of the former gravel pit to the northeast restricts access around the northeast side of the hill.

# **BARNARD & GERVAIS, LLC**

*Land Surveyors, Licensed Designers, Environmental Consultants*

www.barnardandgervais.com



5. Sight Distance – Adequate sight distance (550') is provided for both access locations.

In accordance with the Access and Work Permit requirements, the following items are respectfully submitted:

1. VT AOT – State Highway Access and Work Permit Application.
2. Drawing SP-1 – Overall Subdivision Access Plan (10-24-2025).
3. Drawing SP-2 – Subdivision Access Plan: Sight Distance Profiles (10-24-2025).
4. Minor Commercial Development Fee of \$250.

Please review the included information and let me know if there are any other items that are required for your evaluation. In the meantime, should you have any questions or comments regarding the application, please do not hesitate to give me a call at (802) 482-2597.

Sincerely,

A handwritten signature in blue ink, appearing to read "Jason S. Barnard", is written over a light blue circular stamp.

Jason S. Barnard  
Licensed Designer #126179

c: Alan D. & Nancy E. Norris

Alan D. & Nancy E. Norris  
Starksboro, VT17, L.S. 0146+80 ~ 0152+06 RT  
December 19, 2025  
Page 1 of 5

### **SPECIAL CONDITIONS**

This permit is granted subject to the restrictions and conditions on the back of the permit, with particular attention given to the Special Conditions listed below. This permit pertains only to the authority exercised by the Vermont Agency of Transportation (Agency) under Vermont Statutes Annotated, Title 19, Section 1111, and does not relieve the Permit Holder from the requirements of otherwise applicable statutes, rules, regulations or ordinances (e.g., Act 250, zoning, etc.). The Permit Holder shall observe and comply with all Federal and State laws and local bylaws, ordinances, and regulations in any manner affecting the conduct of the work and the action or operation of those engaged in the work, including all orders or decrees as exist at present and those which may be enacted later by bodies or tribunals having jurisdiction or authority over the work, and the Permit Holder shall defend, indemnify, and save harmless the State and all its officers, agents, and employees against any claim or liability arising from or based on the violation of any such law, bylaws, ordinances, regulations, order, or decree, whether by the Permit Holder in person, by an employee of the Permit Holder, by a person or entity hired by the Permit Holder, or by a Subcontractor or supplier.

The Permit Holder shall accomplish all work under this permit in accordance with the attached:

- a. Standard Drawings A-76 and B-71A
- b. the attached plans "Proposed Nine-Lot Subdivision & Planned Unit Development – Alan D. & Nancy E. Norris" by Barnard & Gervais, LLC dated 12/18/2025.

A preconstruction meeting to discuss work to be completed must be held prior to the Permit Holder's employees or contractor beginning work. The Permit Holder is required to notify the District Transportation Administrator five (5) working days in advance of such meeting.

**Please note that the Vermont Agency of Transportation is not a member of Dig Safe.** The Permit Holder shall also contact Dan Ertel, State Signal Supervisor, at (802) 343-2188. Mr. Ertel will need to locate and mark all existing buried utility facilities owned by the Agency near the location of the proposed work.

Roadway shoulder areas must be maintained free of unnecessary obstructions, including parked vehicles, at all times while work is being performed under this permit.

Two-way traffic shall be maintained at all times unless permission is granted from the District Transportation Administrator. Whenever two-way, one-lane controlled traffic is authorized to be maintained by the Applicant's Contractor, **the traveling public shall not be delayed more than 10 minutes.**

All grading within the State Highway right-of-way associated with the proposed construction shall be subject to inspection and approval by the District Transportation Administrator or his or her staff. The Permit Holder shall be responsible for ensuring that all grading work in or on the State Highway right-of-way complies with applicable statutes, rules, regulations or ordinances.

In areas to be grass covered, the Permit Holder shall restore turf by preparing the area and applying the necessary topsoil, limestone, fertilizer, seed, and mulch, all to the satisfaction of the District

Alan D. & Nancy E. Norris  
Starksboro, VT17, L.S. 0146+80 ~ 0152+06 RT  
December 19, 2025  
Page 2 of 5

Transportation Administrator. The Permit Holder shall be responsible for ensuring that all turf restoration work in or on the State Highway right-of-way is in compliance with applicable statutes, rules, regulations or ordinances.

In the event that area lighting proves to be a hazard to the traveling public, the Permit Holder will be ordered to remove or modify it at his or her expense to the satisfaction of the District Transportation Administrator.

Upon completion of the work, the Permit Holder shall be responsible to schedule and hold a final inspection. The Permit Holder is required to notify the District Transportation Administrator five (5) working days in advance of such inspection.

### **ACCESS**

**The proposed A-76 access at MM 2.79 is approved to serve the 7-lot Planned Unit Development and Lot 9. The proposed B-71A access at MM 2.88 is approved to serve one single-family dwelling on Lot 8. Future development beyond what is shown on the plans requires VTrans approval.**

**This permit does not become effective until the Permit Holder records, in the office of the appropriate municipal clerk, the attached "Notice of Permit Action". The Permit Holder, and their assigns and successors in interest, are obligated by this permit to complete, operate and maintain the access(es) in accordance with the Special Conditions.**

**The Permit Holder shall file a municipal clerk certified copy of the recorded "Notice of Permit Action" within one (1) month of the permit issuance date in the Office of the Development Review and Permitting Services Section.**

**The conditions of this permit and the land uses permitted herein in using the State highway access shall run with the land and are binding upon and enforceable against the Applicant and their successors and assigns.**

No change shall be made to the design, operation or use of the approved access(es) without a permit amendment issued by the Agency of Transportation or a guidance document from the Development Review and Permitting Services Section that a permit amendment is not required.

The access must be constructed in such a manner as to prevent water from flowing onto the State Highway. If the access is not constructed satisfactorily, the District Transportation Administrator can order reconstruction of the access at the Permit Holder's expense.

This access will serve as the only access to this property and to any future subdivisions of this property unless approved otherwise by the Agency. The Permit Holder is required to allow a connection and to grant an associated right to pass between the access and adjoining properties (in the future) that will result in a combination of accesses to serve more than one property or lot. By issuance of this permit, the Agency revokes all previous permits for access to this property.

Alan D. & Nancy E. Norris  
Starksboro, VT17, L.S. 0146+80 ~ 0152+06 RT  
December 19, 2025  
Page 3 of 5

Exhibit F

In the event traffic from this project increases to the point where traffic signals, additional lanes for turning or any other modifications are necessary, the Permit Holder shall bear the expense of such improvements or facilities. The Agency may require the Permit Holder to update or provide a traffic study to determine if additional modifications are necessary.

The Permit Holder is responsible for access maintenance (beyond the edge of paved shoulder). "Access maintenance" will include, but not be limited to, the surface of the access, the replacement and maintenance of the culvert, as necessary, the trimming of vegetation, and the removal of snow banks to provide corner sight distance.

In conformance with Vermont Statutes Annotated, Title 19, Section 1111(f), the Agency may eliminate this access in the future where development has burdened the highway system to such an extent that a frontage road or other access improvements (which may serve more than one property or lot) must be constructed to alleviate this burden. The Permit Holder shall bear the expense of the frontage road or other access improvements. The Agency shall determine the need of a frontage road or other improvements based upon and justified by standard Agency procedures.

The Permit Holder shall pave the A-76 access serving the 7-lot Planned Unit Development from the edge of paved shoulder to a point 50' from the white line.

In the event of the Permit Holder's failure to complete all the work, approved under this permit, by the "work completion date," the Agency, in addition to any other enforcement powers that may be provided for by law, may suspend this permit until compliance is obtained. If there is continued use or activity after suspension, the Agency may physically close the driveway or access point if, in the Agency's opinion, safety of highways users is or may be affected.

## **TRAFFIC CONTROL**

The Permit Holder shall verify the appropriate safety measures needed, prior to construction, so proper devices and/or personnel are available when and as needed. Traffic control devices, shall be in conformance with the MUTCD, Agency standards and any additional traffic control deemed necessary by the District Transportation Administrator. The Permit Holder's failure to utilize proper measures shall be considered sufficient grounds for the District Transportation Administrator to order cessation of the work immediately.

The Permit Holder will perform construction in such a way as to minimize conflicts with normal highway traffic. When two-way traffic cannot be maintained, the Permit Holder shall provide a sign package that conforms to the MUTCD or Agency standards, as well as trained Flaggers. The District Transportation Administrator may require a similar sign package with trained Flaggers whenever it is deemed necessary for the protection of the traveling public. In addition, the District Transportation Administrator may require the presence of Uniform Traffic Officers (UTOs); moreover, the presence of UTOs shall not excuse the Permit Holder from its obligation to provide the sign package and Flaggers.

When traffic control becomes so complex that the traffic control cannot be accomplished using Agency standards, the Permit Holder must submit a traffic control plan to the Agency's Permitting Services office for Agency approval prior to beginning work.

Alan D. & Nancy E. Norris  
Starksboro, VT17, L.S. 0146+80 ~ 0152+06 RT  
December 19, 2025  
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Exhibit F

The Permit Holder shall ensure that all workers exposed to the risks of moving highway traffic and/or construction equipment wear high-visibility safety apparel meeting the requirements of ISEA (International Safety Equipment Association) "American National Standards for High-Visibility Safety Apparel," and labeled as ANSI (American National Standards Institute) 107-2004, or latest revisions, for Performance Class 2 or 3 requirements. A competent person - one designated by the Permit Holder's Contractor to be responsible for worker safety within the activity area of the State highway right-of-way -shall select the appropriate class of garment. The Engineer may suspend this permit until compliance is obtained.

**Independence; Liability:** The Permit Holder will act in an independent capacity and not as officers or employees of the State.

The Permit Holder shall defend the State and its officers and employees against all claims or suits arising in whole or in part from any act or omission of the Permit Holder or of any agent of the Permit Holder. The State shall notify the Permit Holder in the event of any such claim or suit, and the Permit Holder shall immediately retain counsel and otherwise provide a complete defense against the entire claim or suit.

After a final judgment or settlement, the Permit Holder may request recoupment of specific defense costs and may file suit in the Washington Superior Court requesting recoupment. The Permit Holder shall be entitled to recoup costs only upon a showing that such costs were entirely unrelated to the defense of any claim arising from an act or omission of the Permit Holder.

The Permit Holder shall indemnify the State and its officers and employees in the event that the State, its officers or employees become legally obligated to pay any damages or losses arising from any act or omission of the Permit Holder.

**Insurance:** Before beginning any work under this Permit the Permit Holder must provide certificates of insurance to show that the following minimum coverages are in effect. It is the responsibility of the Permit Holder to maintain current certificates of insurance on file with the State for the duration of work under the Permit. No warranty is made that the coverages and limits listed herein are adequate to cover and protect the interests of the Permit Holder for the Permit Holder's operations. These are solely minimums that have been established to protect the interests of the State.

Workers' Compensation: With respect to all operations performed under the Permit, the Permit Holder shall carry workers' compensation insurance in accordance with the laws of the State of Vermont.

General Liability and Property Damage: With respect to all operations performed under the Permit, the Permit Holder shall carry general liability insurance having all major divisions of coverage including, but not limited to:

Premises - Operations  
Products and Completed Operations  
Personal Injury Liability  
Contractual Liability

The policy shall be on an occurrence form and limits shall not be less than:

Alan D. & Nancy E. Norris  
Starksboro, VT17, L.S. 0146+80 ~ 0152+06 RT  
December 19, 2025  
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Exhibit F

\$2,000,000 Per Occurrence  
\$2,000,000 General Aggregate  
\$2,000,000 Products/Completed Operations Aggregate  
\$ 50,000 Fire/Legal Liability

Permit Holder shall name the State of Vermont and its officers and employees as additional insureds for liability arising out of this Permit.

Automotive Liability: The Permit Holder shall carry automotive liability insurance covering all motor vehicles, including hired and non-owned coverage, used in connection with the Permit. Limits of coverage shall not be less than: \$1,000,000 combined single limit.

Permit Holder shall name the State of Vermont and its officers and employees as additional insureds for liability arising out of this Permit.

**VERMONT AGENCY OF TRANSPORTATION**  
**NOTICE OF PERMIT ACTION**

Grantor (Owner/Applicant): ALAN D. & NANCY E. NORRIS  
Address: Street: PO BOX 368  
City/State/ZIP: HINESBURG, VT 05461

Exhibit F

Location of Work:

<u>Location Start</u>	
Town:	Starksboro
Route:	VT17
Log Station/MM:	0146+80 ~ 0152+06 / 2.78 + 2.88

<u>Location End</u>	
Town:	
Route:	
Log Station/MM:	

Property Deed Reference: Book: 99 Page: 174  
Additional Book: Additional Page:

Permit ID #: 47501

Description of Work: REMOVE TWO EXISTING GRAVEL DRIVES, CONSTRUCT A NEW ACCESS PER STANDARD A-76, IMPROVE AN EXISTING FIELD DRIVE PER STANDARD B-71A AND PERFORM GRADING TO ACHIEVE SIGHT DISTANCE, TO SERVE A 9-LOT SUBDIVISION ON 84.89+/- ACRES

Issued Permit       Notice of Violation  
 Suspension of Permit     Withdrawn

Action Date: December 19, 2025

Signature: \_\_\_\_\_  
Signed by:  
*Theresa Gilman*  
10220048B424498...  
Authorized representative for  
the Secretary of Transportation

Location of Record: Vermont Agency of Transportation  
Development Review & Permitting Services Section  
Barre City Place, 219 North Main Street  
Barre, Vermont 05641

Town/City of \_\_\_\_\_ Clerk's Office  
Received \_\_\_\_\_ at \_\_\_\_\_ a.m./p.m.  
and recorded in Book \_\_\_\_\_ on Page \_\_\_\_\_  
of land records. \_\_\_\_\_  
Attest: \_\_\_\_\_  
Assistant Town/City Clerk

ZONING INFORMATION

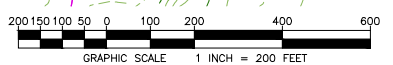
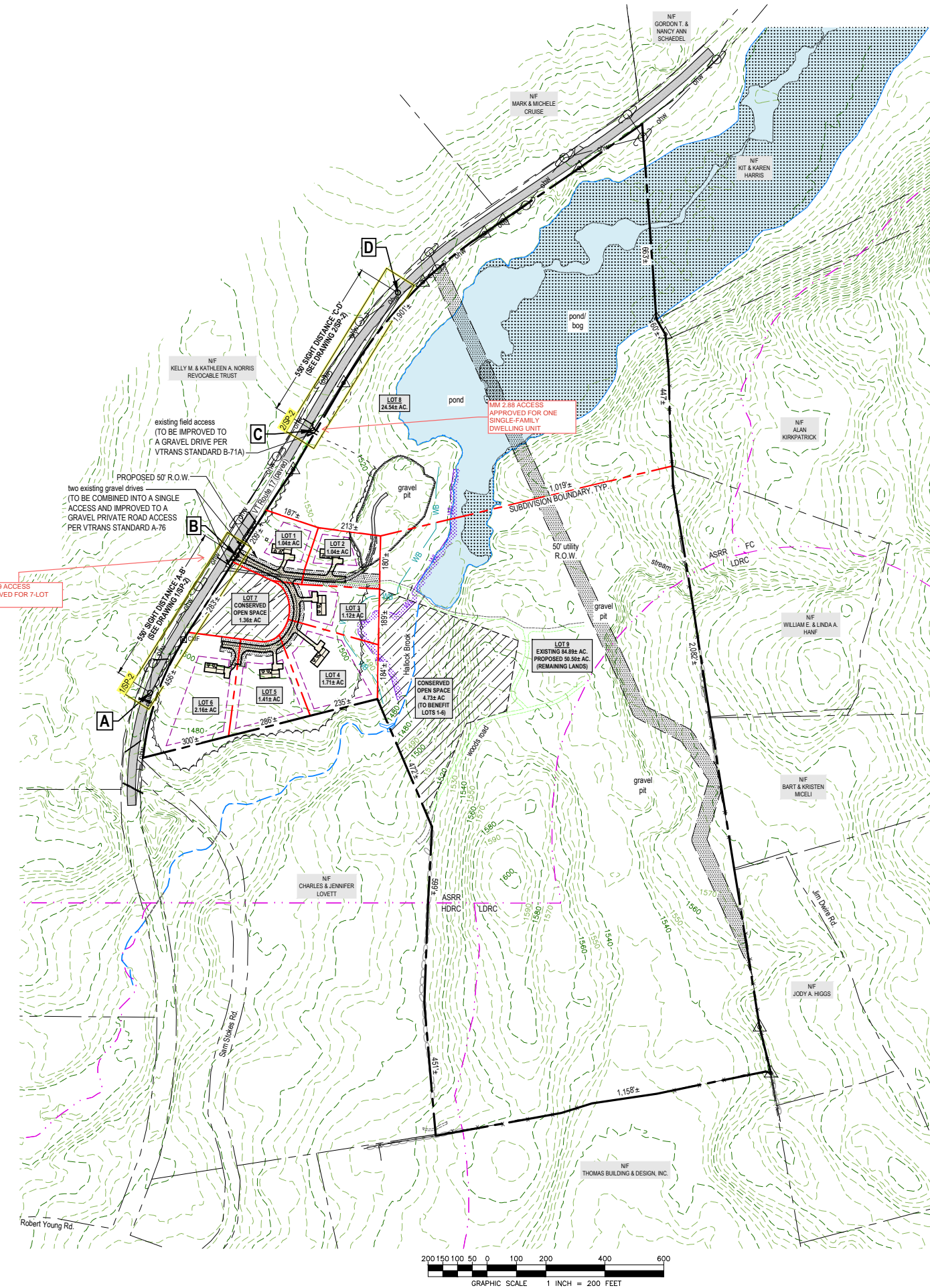
ZONING DISTRICTS

AGRICULTURAL, SCENIC & RURAL RESIDENTIAL (ASRR), LOW DENSITY RESIDENTIAL & COMMERCIAL (LDRC), HIGH DENSITY RESIDENTIAL & COMMERCIAL (HDRC), WATERSHED PROTECTION (WP), FLOOD HAZARD OVERLAY (FHO)

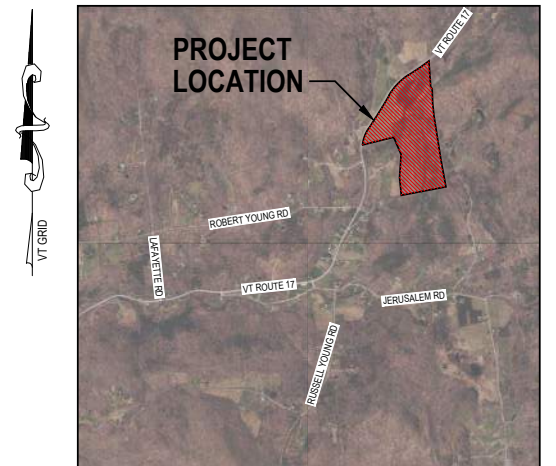
DIMENSIONAL REQUIREMENTS

Table with zoning districts (ASRR, LDRC, HDRC, WP, FHO) and their respective dimensional requirements for residential density, lot size, setbacks, and building heights.

PER TOWN OF STARKSBORO LAND USE AND DEVELOPMENT REGULATIONS ADOPTED JANUARY 7, 2020.



- PROJECT NOTES: 1. THIS IS NOT A BOUNDARY SURVEY... 2. THE LOCATIONS OF EXISTING PHYSICAL FEATURES... 3. THE ELEVATIONS ON THIS PLAN... 4. FOR CLARITY, TEXT IDENTIFYING EXISTING ITEMS IS LOWER CASE... 5. NO ATTEMPT HAS BEEN MADE TO LOCATE ANY UNDERGROUND UTILITIES... 6. A FORMAL WETLANDS DELINEATION WAS COMPLETED BY DEREK THIBODEAU... 7. BARNARD & GERVAIS, LLC IS NOT RESPONSIBLE FOR ANY ASPECTS OF HEALTH AND SAFETY... 8. ALL EXCAVATION WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE STATE OF VERMONT... 9. THE CONTRACTOR AND/OR LANDOWNER SHALL ADHERE TO THE GUIDELINES SET FORTH IN THE STATE OF VERMONT EROSION AND SEDIMENT CONTROL HANDBOOK... 10. AS SHOWN, THE PROJECT CONTAINS 35,850 SF OF PROPOSED IMPERVIOUS SURFACE AREA.



Project Location Map Not to Scale

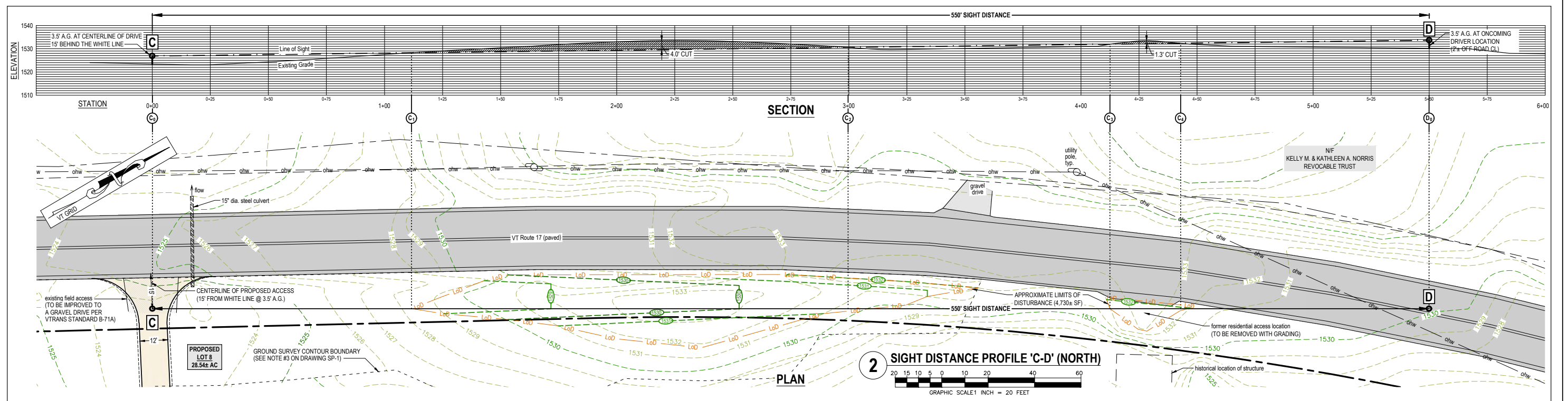
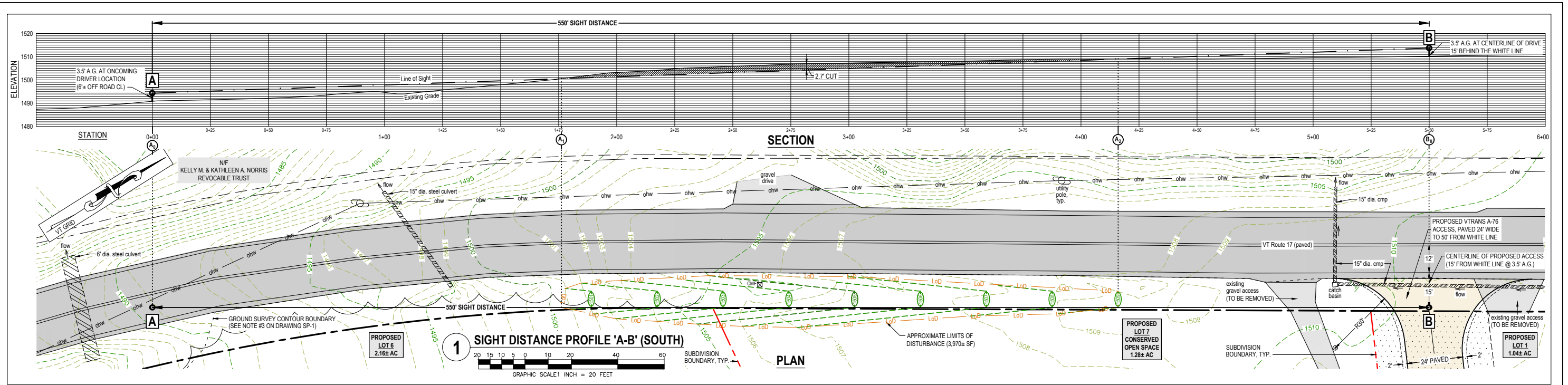
LEGEND

- BOUNDARY LINE/ R.O.W. (EXISTING)
BOUNDARY LINE/ R.O.W. (PROPOSED)
BOUNDARY LINE/ R.O.W. (ABUTTING)
SIDELINE OF EASEMENT
EDGE OF ROAD/ DRIVE (SURFACE NOTED)
5-FOOT LIDAR CONTOUR (OBTAINED FROM VCGI DATABASE)
ZONING DISTRICT BOUNDARY
BUILDING ENVELOPE
TREE LINE
PROPOSED LIMITS OF CLEARING
GRAVITY SEWER (EXISTING)
GRAVITY SEWER (PROPOSED)
FORCE MAIN
1-INCH DIAMETER CL200 POLYETHYLENE PLASTIC WATER LINE (UNLESS OTHERWISE NOTED)
WELL ISOLATION
WASTEWATER ISOLATION
WETLAND BOUNDARY
WETLAND BUFFER
UNDERGROUND ELECTRICAL CONDUIT
UNDERGROUND GAS LINE
UTILITY POLE/ OVERHEAD WIRES
SURVEY TRAVERSE STATION
TEMPORARY BENCHMARK (TYPE AND ELEVATION NOTED)
TEST PIT (TP-01)
SOIL BORING (SB-01)
DRILLED WELL (UNLESS OTHERWISE NOTED)
CONCRETE MONUMENT FOUND
SIGHT DISTANCE REFERENCE POINT (3.5' A.G.)

Exhibit F

Table with columns for DATE, DESCRIPTION, REVISIONS, and BY. Includes project details for BARNARD & GERVAIS, LLC and ALAN D. & NANCY E. NORRIS.

OWNER: ALAN D. & NANCY E. NORRIS
DEED: Vol. 99, PG. 174
SPAN # 615-193-10815
PARCEL ID # 10815
ACRES: 84.89±
SIGNATURE:
DRAFT
JASON S. BARNARD
LICENSED DESIGNER #126179



**LEGEND**

—	BOUNDARY LINE/ R.O.W. (EXISTING)	—	UE	UNDERGROUND ELECTRICAL CONDUIT
- - -	BOUNDARY LINE/ R.O.W. (PROPOSED)	—	ohw	UTILITY POLE/ OVERHEAD WIRES
—	BOUNDARY LINE/ R.O.W. (ABUTTING)	⊙		SURVEY TRAVERSE STATION
- - -	SIDELINE OF EASEMENT	⊙		TEMPORARY BENCHMARK (TYPE AND ELEVATION NOTED)
—	EDGE OF ROAD/DRIVE (SURFACE NOTED)	⊙		TEST PIT (TP-01)
—	LIMITS OF DISTURBANCE	⊙		SOIL BORING (SB-01)
—	1-FOOT LIDAR CONTOUR (OBTAINED FROM VCGI DATABASE)	⊙		DRILLED WELL (UNLESS OTHERWISE NOTED)
—	1-FOOT GROUND SURVEY CONTOUR	⊙		CONCRETE MONUMENT FOUND
—	FINISH GRADE	⊙		

**Exhibit F**

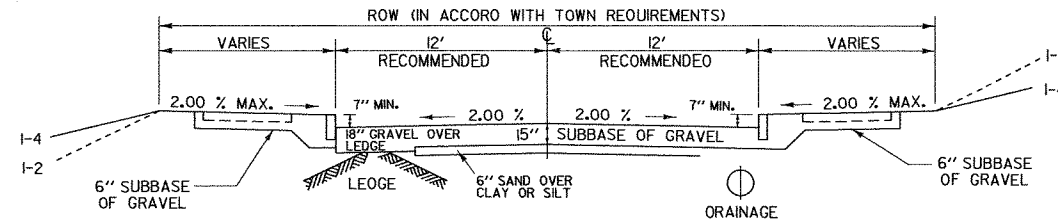
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**DRAFT**

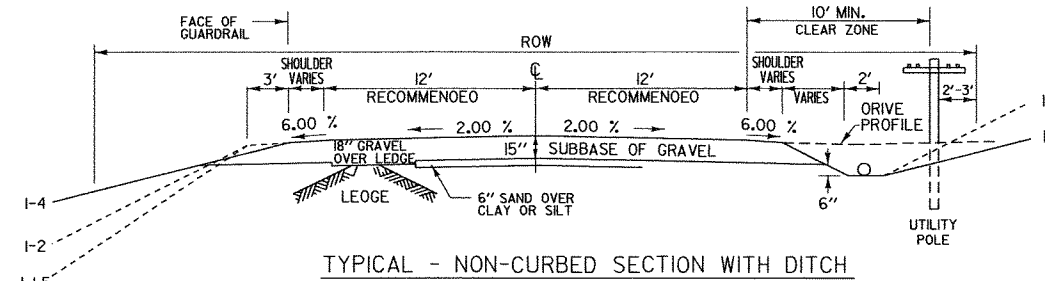
JASON S. BARNARD  
 LICENSED DESIGNER #126179

DATE	DESCRIPTION	BY
REVISIONS		
<b>BARNARD &amp; GERVAIS, LLC</b> Land Surveying Water & Wastewater Environmental Consulting 167 Main Street, P.O. Box 820, Enosburg Falls, VT 05450 Telephone: (802) 933-6168 10523 VT Route 116, P.O. Box 133, Hinesburg, VT 05461 Telephone: (802) 482-2597		
<b>PROPOSED NINE-LOT SUBDIVISION &amp; PLANNED UNIT DEVELOPMENT</b> <b>ALAN D. &amp; NANCY E. NORRIS</b> 2798 VT ROUTE 17, STARKSBORO, VERMONT		PROJECT NO. 24330  DATE: 12-18-2025  SCALE: 1" = 20'  SURVEY: TG,AW,MD  DRAWN: SB  CHECKED: JSB  DRAWING NO. SP-2  SHEET 2 OF 2
THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW:		
<input checked="" type="checkbox"/> PRELIMINARY DRAFT <input type="checkbox"/> FINAL STATE REVIEW		

# ROADWAY TYPICALS

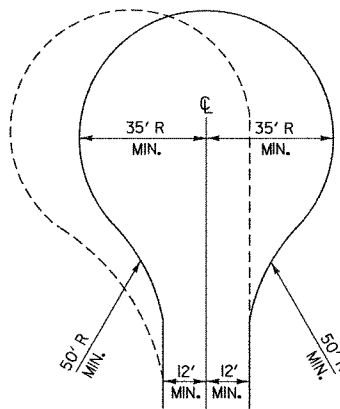


TYPICAL - CURBED SECTION WITH 5' SIDEWALKS

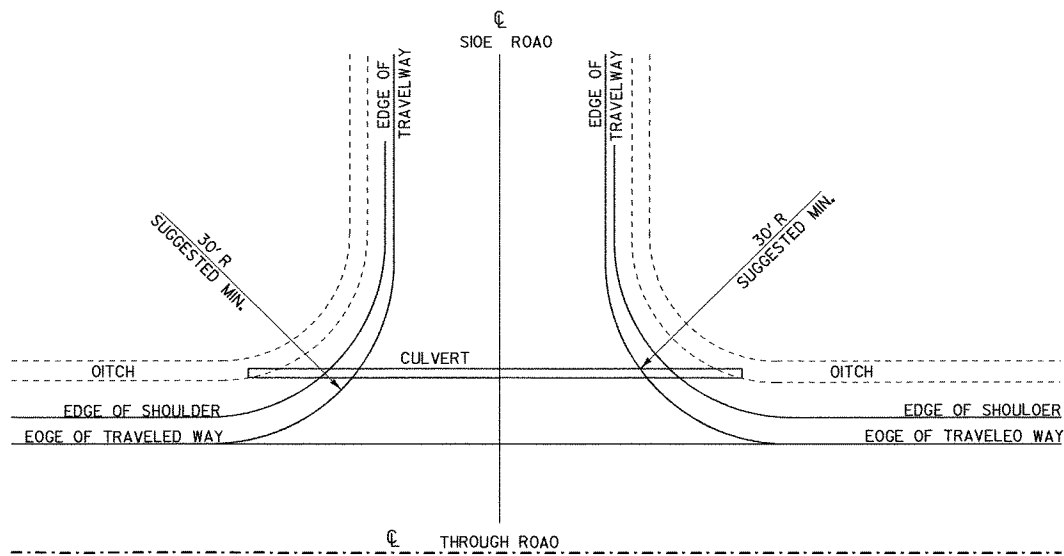


TYPICAL - NON-CURBED SECTION WITH DITCH

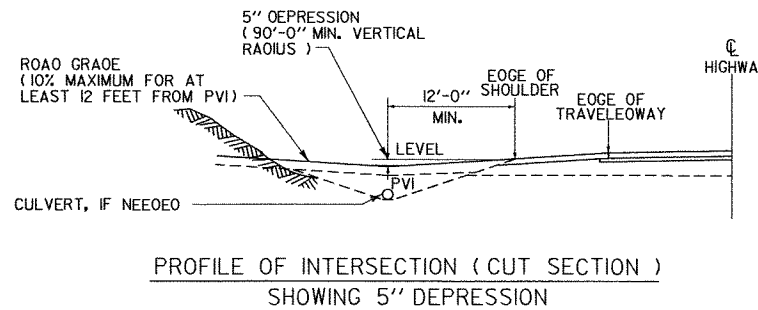
## CUL-DE-SAC FOR DEAD END ROADS



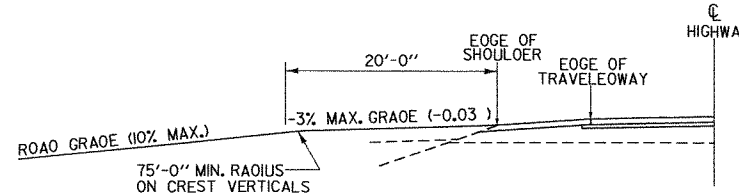
## INTERSECTION OF THROUGH ROAD AND SIDE ROAD



FOR THROUGH ROADS WITH SIDEWALKS & CURBING, SEE STANDARDS C2 & C3. PROVIDE DROP INLETS ON EACH SIDE OF SIDE ROAD AT INTERSECTION AS NECESSARY.



PROFILE OF INTERSECTION (CUT SECTION) SHOWING 5" DEPRESSION



PROFILE OF INTERSECTION (FILL SECTION)

## GENERAL NOTES FOR LOCAL ROADS

- SUBBASE, SAND CUSHION AND SUBGRADE SHOULD BE CONSTRUCTED AND COMPACTED TO THE DIMENSIONS SHOWN IN ACCORDANCE WITH VAOT STANDARD SPECIFICATIONS FOR CONSTRUCTION. WHERE LOCAL DRAINANCES HAVE BEEN ADOPTED RELATIVE TO ROAD DIMENSIONS AND CONSTRUCTION, THEY SHOULD GOVERN. THE DIMENSIONS SUGGESTED ARE INTENDED TO BE APPLIED ONLY IN LOW TRAFFIC VOLUME CONDITIONS (AVERAGE DAILY TRAFFIC LESS THAN 250 VEHICLES PER DAY), AND WHERE HEAVY TRUCK TRAFFIC IS INFREQUENT.
- EXPOSED EARTH SLOPES SHOULD BE SEED, FERTILIZED AND MULCHED IN ACCORDANCE WITH VAOT STANDARD SPECIFICATIONS FOR CONSTRUCTION.
- ORAINAGE:
  - ROADWAY - 18" MINIMUM DIAMETER, OF METAL, REINFORCED CONCRETE OR POLYETHYLENE PIPE, WITH DROP INLETS OR CATCH BASINS, AS REQUIRED. HYDRAULIC ANALYSIS TO DETERMINE APPROPRIATE PIPE DIAMETER IS RECOMMENDED FOR ALL LIVE STREAM CROSSINGS AND ELSEWHERE WHERE LARGE STORM FLOWS MAY BE EXPECTED.
  - DRIVES - 15" MINIMUM DIAMETER, OF METAL, REINFORCED CONCRETE OR POLYETHYLENE PIPE.
  - UNDERDRAIN - 6" MINIMUM DIAMETER, OF METAL, PVC PLASTIC OR POLYETHYLENE PIPE.

LOCATION, DEPTH AND CONSTRUCTION DETAILS SHOULD FOLLOW PRACTICE SPECIFIED BY LOCAL DRAINAGE OR THE VAOT STANDARD SPECIFICATIONS FOR CONSTRUCTION.

### 4. HORIZONTAL CURVATURE - THE FOLLOWING WILL APPLY:

DESIGN SPEED	MINIMUM RADIUS RURAL ①	MINIMUM RADIUS URBAN ②
25 MPH	185 FT.	180 FT.
30 MPH	275 FT.	300 FT.
35 MPH	380 FT.	460 FT.
40 MPH	510 FT.	675 FT.
45 MPH	660 FT.	945 FT.
50 MPH	835 FT.	1280 FT.

- ① BASED ON CROSS SLOPE = 6.0 %
  - ② BASED ON MAINTAINING NORMAL CROWN SECTION THROUGHOUT CURVE : EFFECTIVE CROSS SLOPE = 2.0 %
- FOR OTHER SUPERELEVATION RATES, SEE CHAPTER III OF THE AASHTO "A POLICY ON GEOMETRIC DESIGN OF HIGHWAYS AND STREETS" FOR APPROPRIATE CURVE RADIUS.

- GRADE OF ROADS - 10% MAXIMUM GRADE SUGGESTED, ALTHOUGH GRADES UP TO 16 % MAY BE ALLOWED IN MOUNTAINOUS TERRAIN.
- GUARD RAIL - PROVIDE GUARD RAIL WITH TREATED WOOD OR STEEL POSTS, OF A DESIGN IN ACCORDANCE WITH VAOT STANDARD SPECIFICATIONS FOR CONSTRUCTION, THE AASHTO ROADSIDE DESIGN GUIDE, AND VAOT STANDARD DRAWINGS. GENERALLY, WHERE SLOPES ARE 1:3 OR STEEPER, AND THE HEIGHT OF DROPOFF AT EDGE OF SHOULDER EXCEEDS 5', GUARD RAIL SHOULD BE INSTALLED. ALSO, WHERE SLOPES ARE 1:3 OR FLATTER, GUARD RAIL MAY NOT BE NEEDED IF THE AREA AT THE BOTTOM OF THE SLOPE IS FREE OF HAZARDS. THE LOCAL VAOT DISTRICT TRANSPORTATION ADMINISTRATOR MAY BE CONTACTED FOR ASSISTANCE.
- PAVING - ROADS WITH GRADES EXCEEDING 7% SHOULD BE PAVED UNLESS WAIVED BY THE LOCAL GOVERNING BODY. FOR TRAFFIC VOLUMES GREATER THAN, OR EQUAL TO, 250 VEHICLES PER DAY, OR WHERE HEAVY TRUCKS ARE COMMON, A PAVEMENT DESIGN SHOULD BE PERFORMED TO DETERMINE APPROPRIATE THICKNESSES OF SUBBASE AND PAVEMENT.
- TRAVELEWAY AND SHOULDER WIDTHS - WIDTHS SHOWN ON THIS STANDARD ARE FOR LOW SPEED/LOW TRAFFIC VOLUME CONDITIONS. FOR ADDITIONAL GUIDANCE IN THE DESIGN OF LOCAL ROADS AND STREETS, SEE THE LATEST EDITION OF AASHTO'S PUBLICATION "A POLICY ON GEOMETRIC DESIGN OF HIGHWAYS AND STREETS", OR THE VAOT "VERMONT STATE STANDARDS".
- UTILITY LINE LOCATION TO CONFORM TO LOCAL REQUIREMENTS.

Exhibit F

REVISIONS AND CORRECTIONS  
 JAN. 21, 1971 - ORIGINAL DATE OF ISSUE  
 MAR. 12, 1971 - DIMENSIONS CHANGED ON TURN-A-ROUND  
 JULY 13, 1973 - INTERSECTION PROFILES ADDED  
 DEC. 7, 1993 - REVISED TO REFLECT CURRENT DESIGN CRITERIA  
 JUNE 1, 1994 - REISSUED, WITHOUT CHANGE, UNDER NEW SIGNATURES.  
 MAR. 10, 1995 - REISSUED, WITHOUT CHANGE, UNDER NEW SIGNATURES.  
 MARCH 3, 2003 - REVISED TO REFLECT CURRENT DESIGN CRITERIA

APPROVED  
  
 DIRECTOR OF PROGRAM DEVELOPMENT  
  
 CHIEF OF UTILITIES  
  
 FEDERAL HIGHWAY ADMINISTRATION

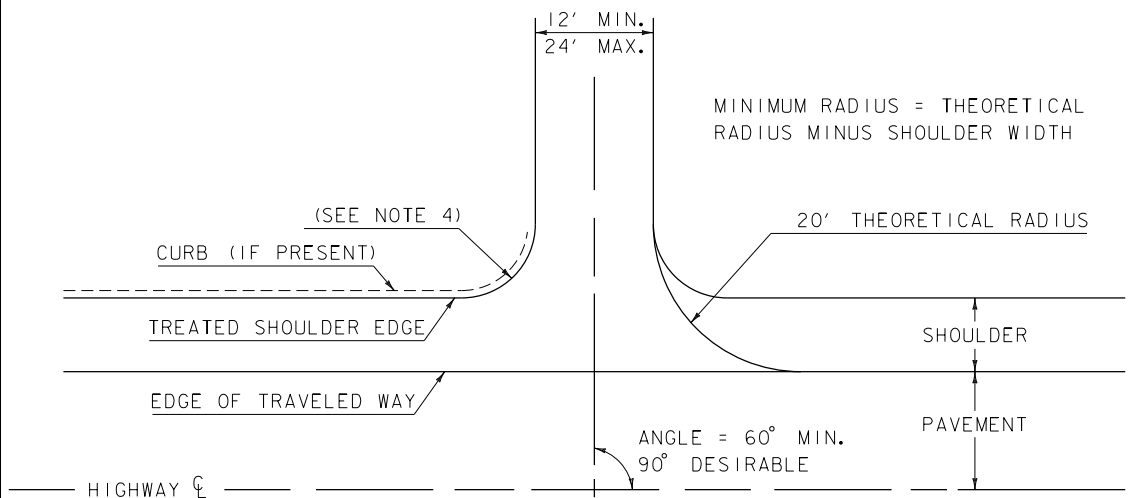
# STANDARDS FOR TOWN & DEVELOPMENT ROADS



# STANDARD A-76

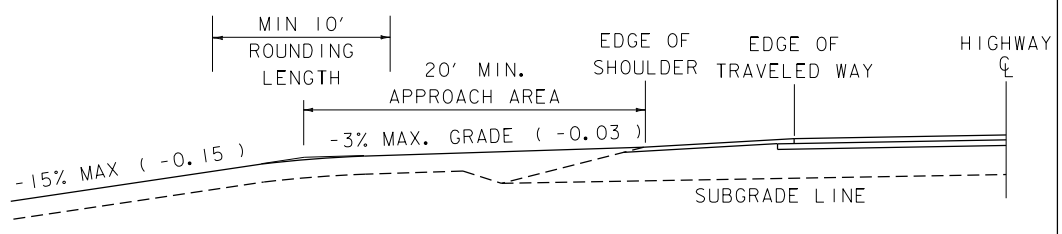
DETAIL A

RESIDENTIAL DRIVE



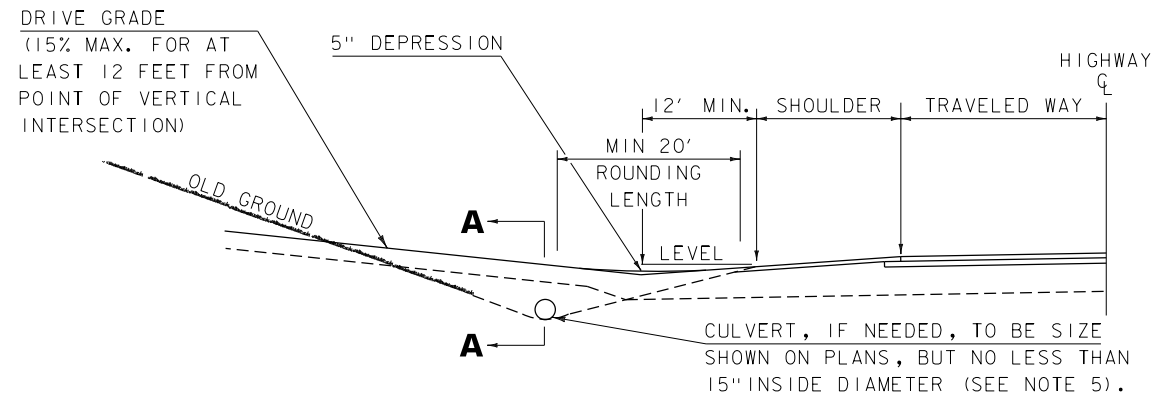
DETAIL B

PROFILE OF DRIVE INTERSECTION (FILL SECTION)



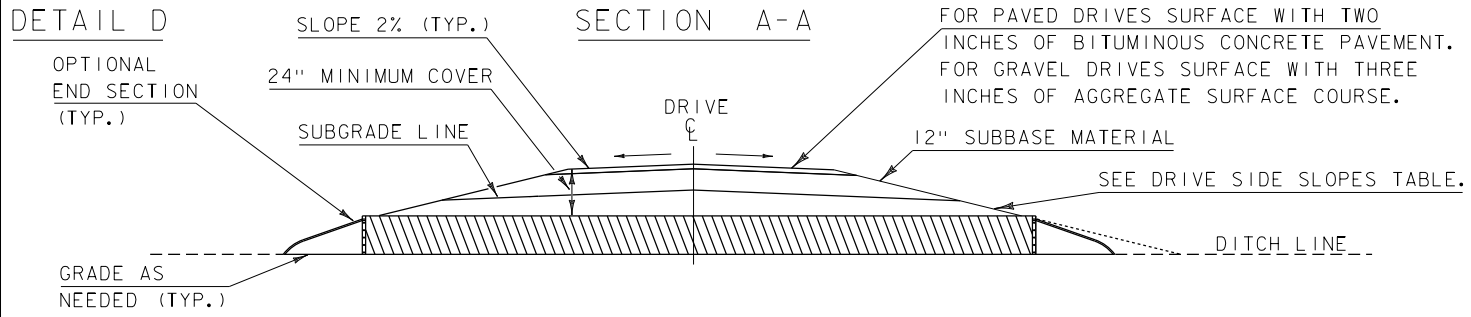
DETAIL C

PROFILE OF DRIVE INTERSECTION SHOWING 5" DEPRESSION (CUT SECTION)



DETAIL D

SECTION A-A



DRIVE SIDE SLOPES TABLE

LOCATION OF SLOPE	SLOPE RATE
DESIGN SPEED > 40 MPH	1:6 OR FLATTER
URBAN AREAS, OR DESIGN SPEED < 40 MPH	1:4 DESIRABLE 1:2 ALLOWABLE
OUTSIDE CLEAR ZONE	1:2 OR FLATTER

- THIS SHEET IS INTENDED FOR USE BY DESIGNERS ON HIGHWAY PROJECTS AND IN CONJUNCTION WITH A PERMIT FOR WORK WITHIN HIGHWAY RIGHTS OF WAY. ALL CONSTRUCTION REQUIRED BY THE PERMIT AND INDICATED ON THIS SHEET SHALL BE THE RESPONSIBILITY OF THE APPLICANT AND IS SUBJECT TO THE APPROVAL OF THE VERMONT AGENCY OF TRANSPORTATION. WHEN USED WITH THE PLANS FOR A HIGHWAY CONSTRUCTION PROJECT, THIS SHEET IS INTENDED TO BE A GUIDE FOR THE DESIGNER CONCERNING DRIVE WIDTHS, HORIZONTAL, VERTICAL AND GEOMETRIC CHARACTERISTICS.
- DEPTH OF SUBBASE AND PAVEMENT TO BE THE SAME AS HIGHWAY OR AS SHOWN IN DETAIL D WITHIN THE LIMITS OF THE HIGHWAY RIGHT-OF-WAY.
- VEHICULAR ACCESS FROM PARKING AREAS TO THE RIGHT-OF-WAY AT OTHER THAN APPROVED ACCESS POINTS WILL BE PREVENTED BY THE CONSTRUCTION OF CURBING OR OTHER SUITABLE PHYSICAL BARRIER.
- IF CURB IS PRESENT, SEE APPROPRIATE CURB DETAIL STANDARD.
- CIRCULAR DRAINAGE CULVERTS UNDER DRIVES SHALL HAVE A MINIMUM INSIDE DIAMETER (I.D.) OF 15" OR AS OTHERWISE SHOWN ON THE PLANS. PIPE ARCHES USED UNDER DRIVES SHALL HAVE A MINIMUM INSIDE CROSS-SECTIONAL AREA EQUIVALENT TO THAT PROVIDED BY A 15" CIRCULAR PIPE. IF A CULVERT LARGER THAN 15" IS LOCATED UPSTREAM OF THE PROPOSED CULVERT THEN THE NEW CULVERT SHALL, AT A MINIMUM, MATCH THE SIZE OF THE UPSTREAM CULVERT.
- THE OFFSET BETWEEN THE PROPERTY LINE AND THE EDGE OF THE DRIVEWAY MAY BE GOVERNED BY LOCAL ZONING LAWS. DRIVEWAY WIDTH RESTRICTIONS SHOWN PERTAIN ONLY TO THE AREA WITHIN THE HIGHWAY R.O.W. OR THE END OF THE TURNING RADIUS WHICHEVER IS GREATEST.
- DRIVEWAY GRADES STEEPER THAN THOSE SHOWN MAY BE ALLOWED AS LONG AS A 20' APPROACH AREA IS ACHIEVED FOR THE VEHICLE TO PAUSE BEFORE ENTERING THE HIGHWAY.
- THIS STANDARD APPLIES TO FIELD DRIVES, LOGGING DRIVES, AND RESIDENTIAL ACCESSES SERVING UP TO TWO SINGLE FAMILY HOMES OR A DUPLEX. FOR LARGER RESIDENTIAL DEVELOPMENTS, SUBDIVISIONS AND OTHER COMMERCIAL ACCESSES SEE VTRANS STANDARD B-71B.
- INTERSECTION SIGHT DISTANCES, AND STOPPING SIGHT DISTANCE, EQUAL TO OR GREATER THAN THOSE SHOWN BELOW, SHOULD BE PROVIDED IN BOTH DIRECTIONS FOR ALL DRIVES ENTERING ON PUBLIC HIGHWAYS, UNLESS OTHERWISE APPROVED BY THE AGENCY OF TRANSPORTATION. INTERSECTION SIGHT DISTANCE IS MEASURED FROM A POINT ON THE DRIVE AT LEAST 15 FEET FROM THE EDGE OF TRAVELED WAY OF THE ADJACENT ROADWAY AND MEASURED FROM A HEIGHT OF EYE OF 3.5 FEET ON THE DRIVE TO A HEIGHT OF 3.5 FEET ON THE ROADWAY. STOPPING SIGHT DISTANCE IS MEASURED FROM AN EYE HEIGHT OF 3.5 FEET TO AN OBJECT HEIGHT OF 2.0 FEET ON THE ROADWAY.
- FOR DRIVEWAY AND INTERSECTION SPACING DISTANCES REFER TO THE "VERMONT AGENCY OF TRANSPORTATION ACCESS MANAGEMENT PROGRAM GUIDELINES" LATEST REVISION.

SIGHT DISTANCE TABLE

POSTED SPEED OR DESIGN SPEED (MPH)	MINIMUM STOPPING SIGHT DISTANCE (FT)	MINIMUM INTERSECTION SIGHT DISTANCE (FT)
25	155	280
30	200	335
35	250	390
40	305	445
45	360	500
50	425	555
55	495	610

THE ABOVE VALUES ARE TAKEN FROM THE 2011 AASHTO "A POLICY ON GEOMETRIC DESIGN OF HIGHWAYS & STREETS."

Exhibit F

REV.	DATE	DESCRIPTION
0	JUL. 1, 2019	ORIGINAL APPROVAL
OTHER STANDARDS REQUIRED:		

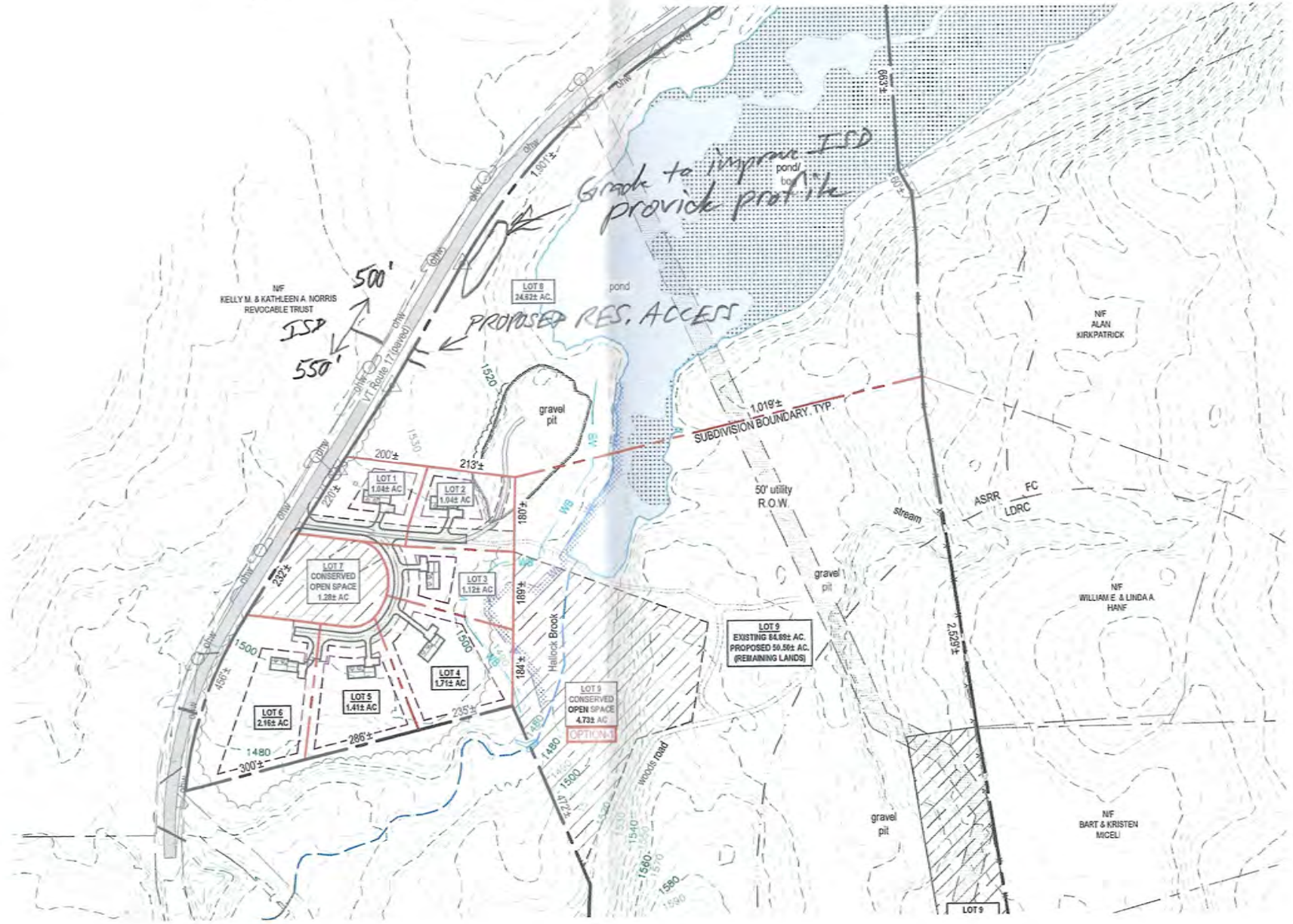
RESIDENTIAL DRIVES



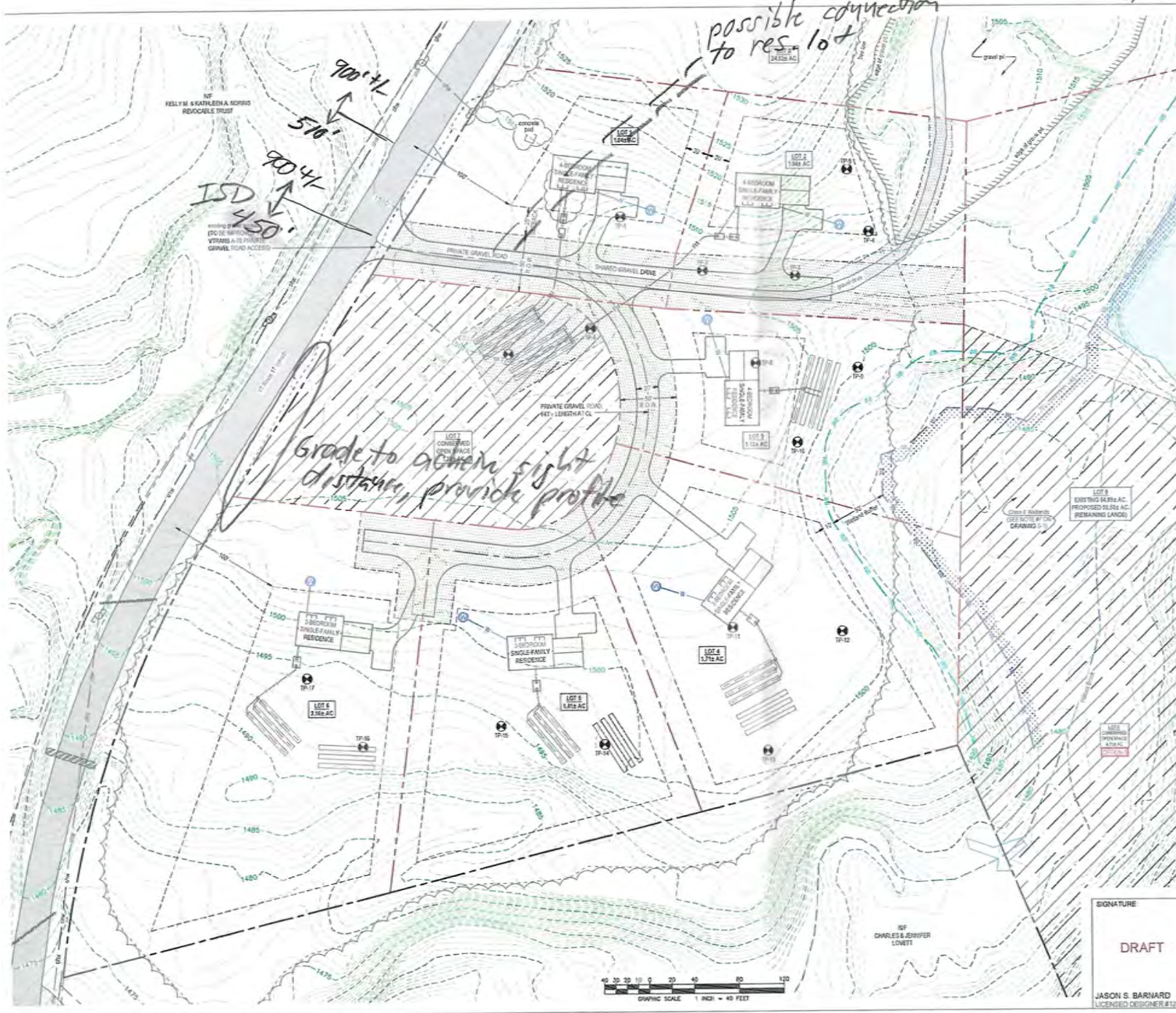
STANDARD B-71A

NORRIS VT17 STARKSBORO 9/22/25 EP

- 50 FT. MIN.
- 10 FT. MIN.
- 20 FT. MIN.
- IES.): 5,000 SQ. FT. MAX
- GS.): 10,000 SQ. FT. MAX
- 35 FT. MAX.
  
- 1 DU/ 25 AC MAX.
- 25 ACRE MIN.
- 25 ACRE MIN.
- 500 FT. MIN.
- 500 FT. MIN.
- 500 FT. MIN.
- 500 FT. MIN.
- 10% MAX.
- LESSER OF 5%
- OR 3 ACRES MAX.
- 75 FT. MIN.
- 20 FT. MIN.
- 50 FT. MIN.
- IES.): NO MAX.
- GS.): NO MAX.
- 35 FT. MAX.



Norris VT 17 Starksboro  
9/22/25 EP



**LEGEND**

- BOUNDARY LINE R.O.W. (EXISTING)
- BOUNDARY LINE R.O.W. (PROPOSED)
- BOUNDARY LINE R.O.W. (ADJUTING)
- SIDELINE OF EASEMENT
- EDGE OF ROADWAY (SURFACE NOTED)
- -100- --- SPOOT LEAD CONTOUR DERIVED FROM VCC DATABASE
- JOINS DISTRICT BOUNDARY
- BUILDING ENVELOPE
- TREE LINE
- PROPOSED LIMITS OF CLEARING
- GRADY SEWER (EXISTING)
- GRADY SEWER (PROPOSED)
- FM --- FM --- FORCE MAIN
- 4" --- 4" --- 4" INCH DIAMETER CL200 POLYETHYLENE PLASTIC WATER LINE (UNLESS OTHERWISE NOTED)
- WELL ISOLATION
- WASTEWATER ISOLATION
- W/L --- WETLAND BOUNDARY
- W/S --- WETLAND BUFFER
- WE --- UNDERGROUND ELECTRICAL CONDUIT
- GAS --- UNDERGROUND GASLINE
- --- UTILITY POLE OVERHEAD WIRES
- SURVEY TRAPLINE STATION
- TEMPORARY BENCHMARK (TYPE AND ELEVATION NOTED)
- TEST PIT (TP-#)
- SOIL BORING (SB-#)
- GRILLED WELL (UNLESS OTHERWISE NOTED)

Exhibit F

DATE	DESCRIPTION	BY
	REVISIONS	
 <b>BARNARD &amp; GERVAIS, LLC</b> Land Surveying, Water & Wastewater, Environmental Consulting		
167 Main Street, P.O. Box 828 Ferrisburgh, VT 05752 Telephone: 802.533.9766		PROJECT NO. 24200
PROPOSED NINE-LOT SUBDIVISION & PLANNED UNIT DEVELOPMENT		DATE: 09-28-2025
<b>ALAN D. &amp; NANCY E. NORRIS</b>		SCALE: 1" = 40'
2788 VT ROUTE 17, STARKSBORO, VERMONT		SURVEY: TG,AW,MD
<b>LOTS 1-7 SUBDIVISION PLAN</b>		DRAWN: SB
THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW.		CHECKED: JSS
<input checked="" type="checkbox"/> PRELIMINARY DRAFT <input type="checkbox"/> FINAL STATE REVIEW		DRAWING NO. S-2

SIGNATURE  
  
DRAFT  
  
JASON S. BARNARD  
LICENSED DESIGNER #129173



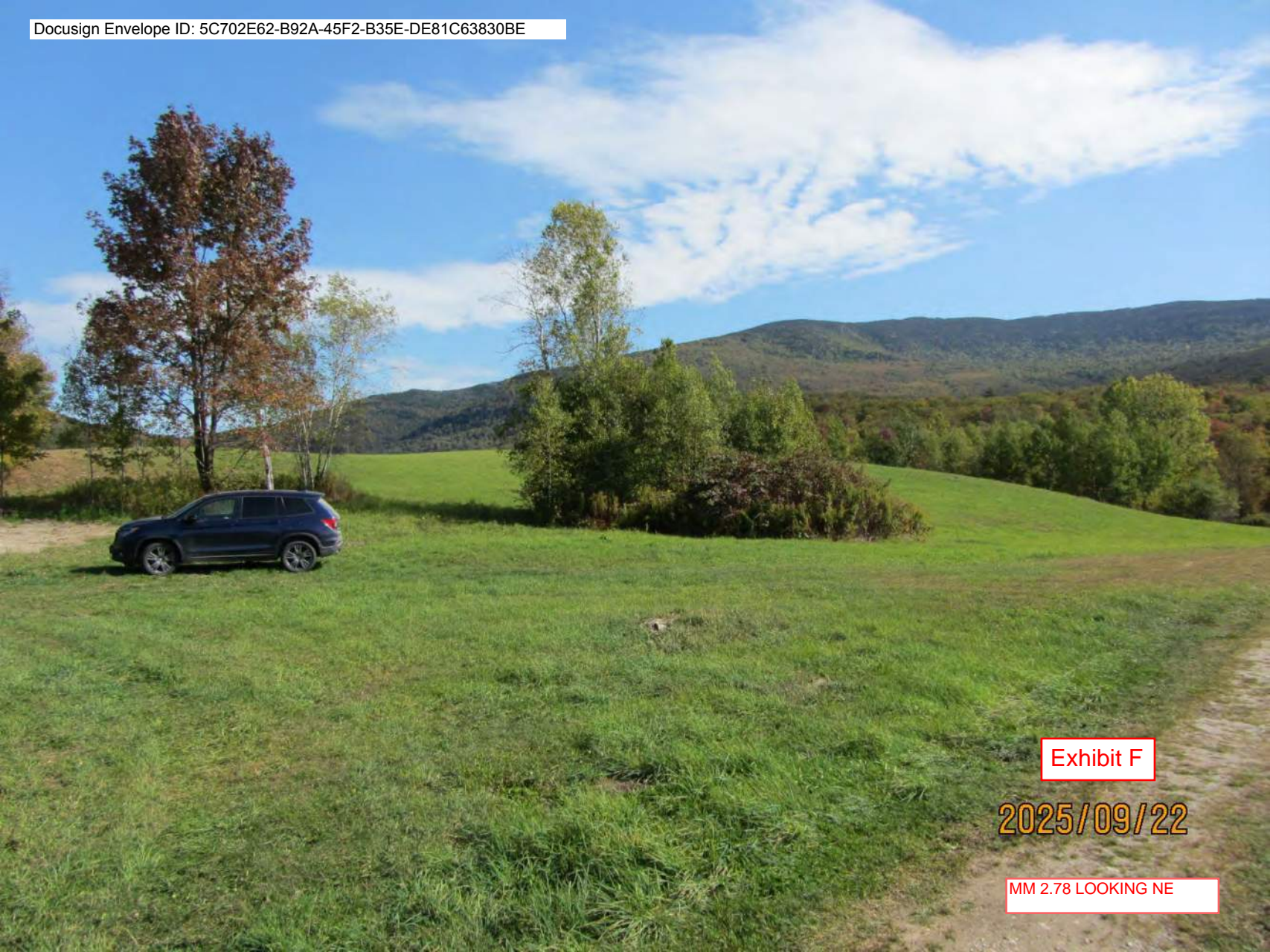


Exhibit F

2025/09/22

MM 2.78 LOOKING NE

GRADE FOR SIGHT  
DISTANCE



REMOVE

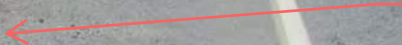


Exhibit F

2025/09/22

MM 2.78 LOOKING SW

REMOVE

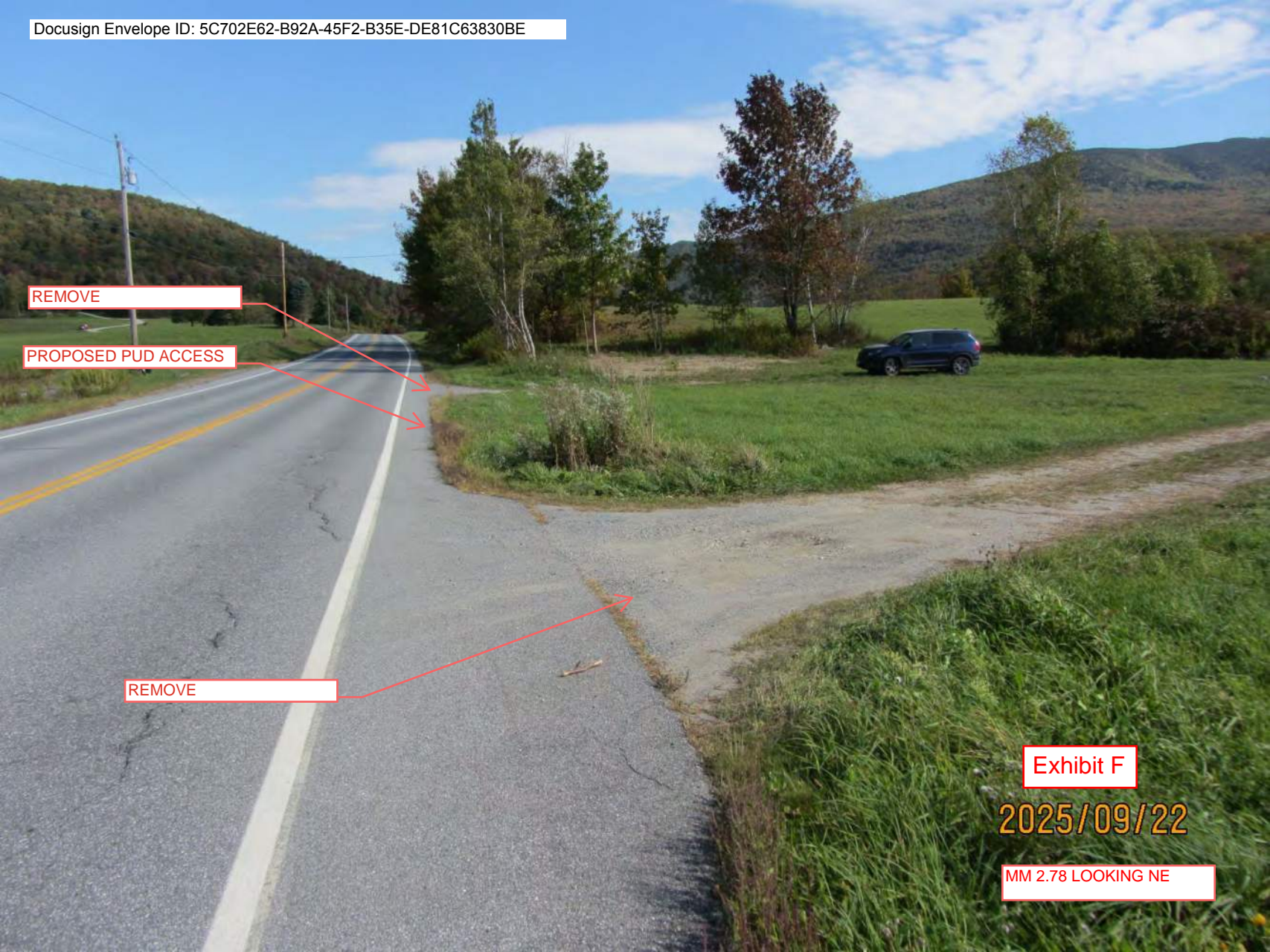
PROPOSED PUD ACCESS

REMOVE

Exhibit F

2025/09/22

MM 2.78 LOOKING NE



GRADE FOR SIGHT  
DISTANCE

Exhibit F

2025/09/22

MM 2.88 LOOKING NE



Exhibit F

2025/09/22

MM 2.88 LOOKING SW



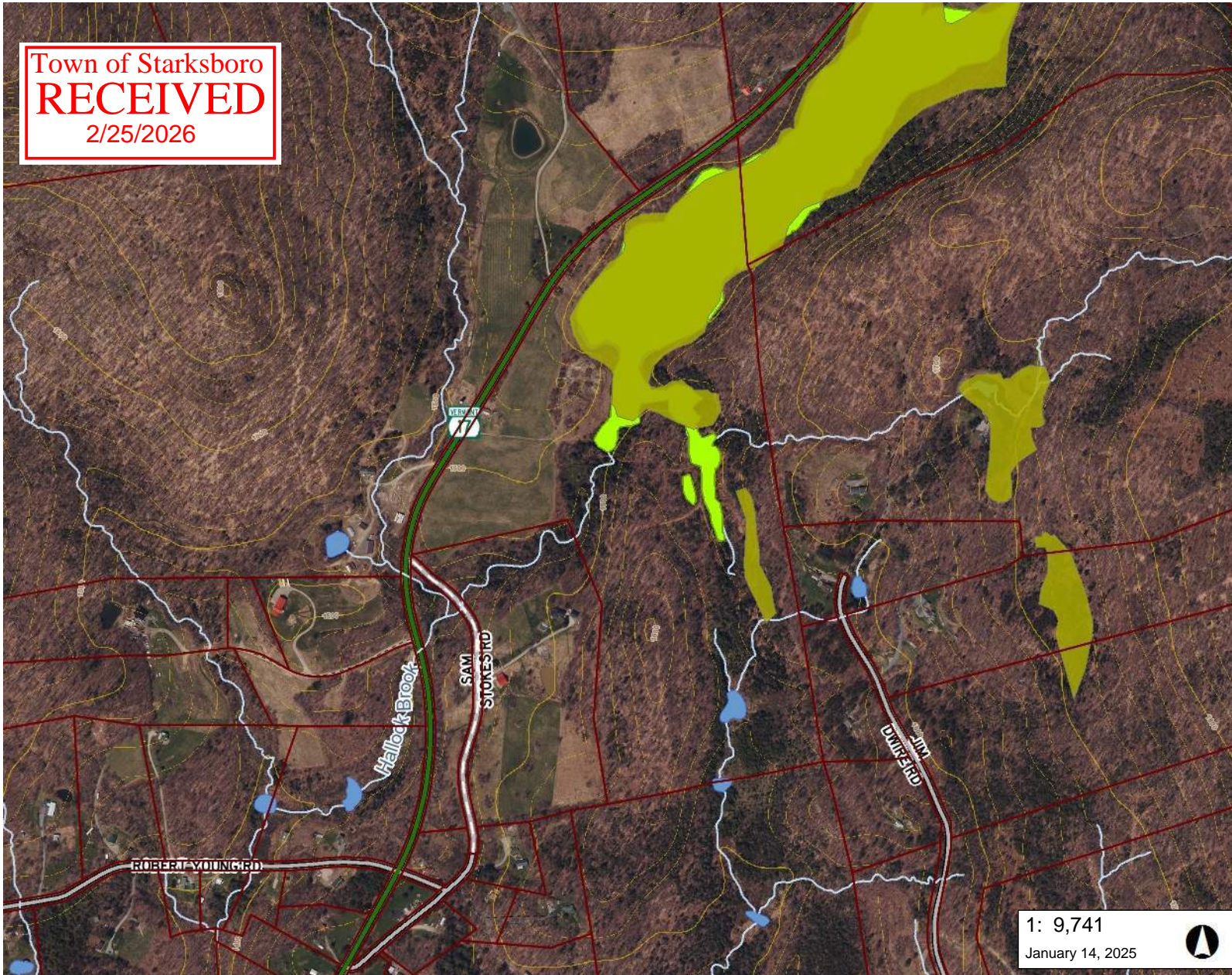
Exhibit F

2025/09/22

MM 2.88 LOOKING SOUTH



Town of Starksboro  
**RECEIVED**  
2/25/2026



**LEGEND**

- Wetland - VSWI
  - Class 1 Wetland
  - Class 2 Wetland
  - Wetland Buffer
- Wetlands Advisory Layer
- Parcels (standardized)
- Waterbody
- Stream
  - Stream
  - Intermittent Stream
- Roads
  - Interstate
  - US Highway; 1
  - State Highway
  - Town Highway (Class 1)
  - Town Highway (Class 2,3)
  - Town Highway (Class 4)
  - State Forest Trail
  - National Forest Trail
  - Legal Trail
  - Private Road/Driveway
  - Proposed Roads
- Town Boundary

**Exhibit G**

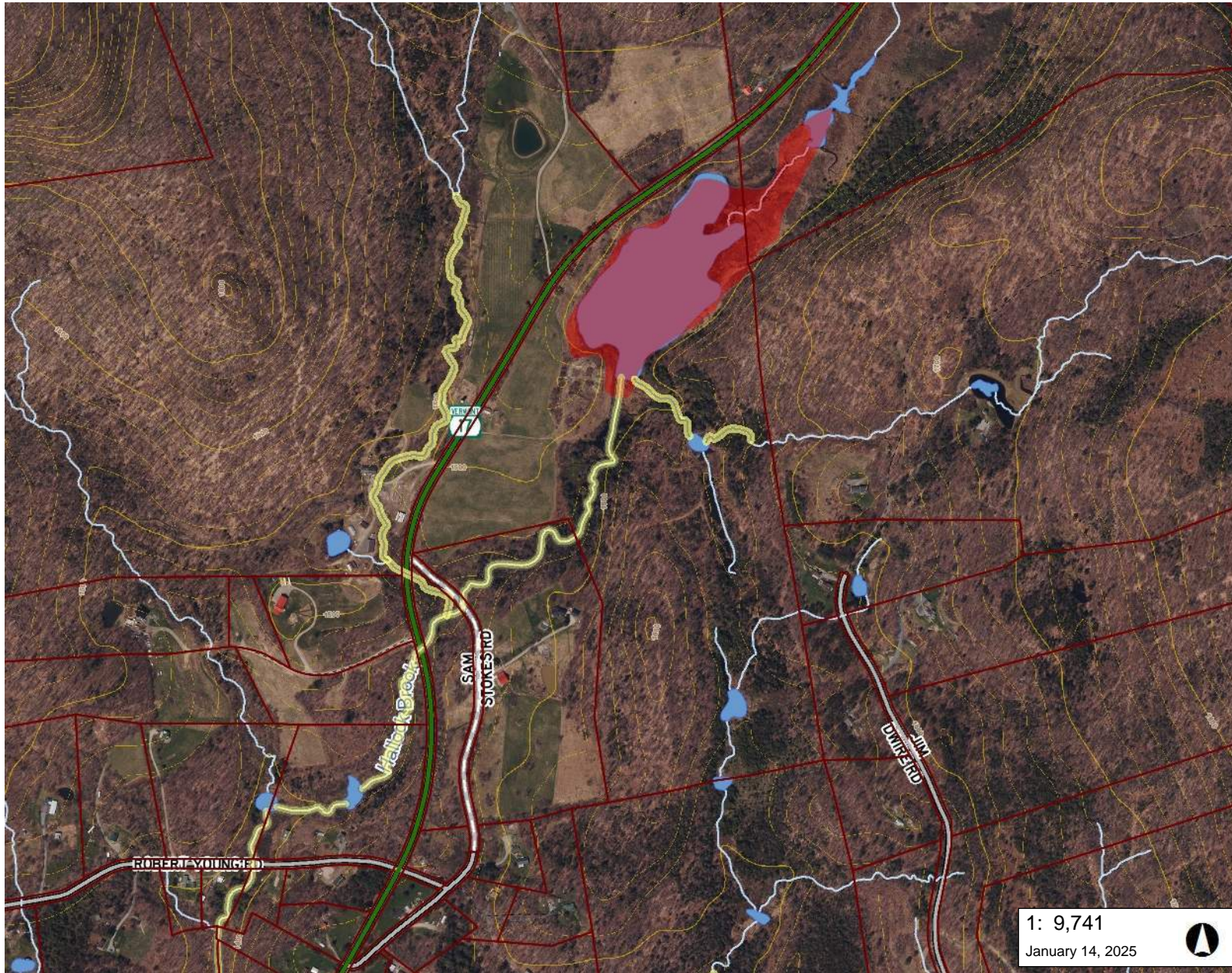
1: 9,741  
January 14, 2025



495.0 0 248.00 495.0 Meters  
WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere 1" = 812 Ft. 1cm = 97 Meters  
© Vermont Agency of Natural Resources THIS MAP IS NOT TO BE USED FOR NAVIGATION

DISCLAIMER: This map is for general reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. ANR and the State of Vermont make no representations of any kind, including but not limited to, the warranties of merchantability, or fitness for a particular use, nor are any such warranties to be implied with respect to the data on this map.

**NOTES**  
Map created using ANR's Natural Resources Atlas



### LEGEND

- DFIRM Floodways
- River Corridors (Aug 27, 2019)
  - .5 - 2 sqmi.
  - .25-.5 sqmi.
- River Corridor Easement
- DFIRM Flood Hazard Areas (C FEMA-digitized data)
  - AE (1-percent annual chance flood)
  - A (1-percent annual chance flood)
  - AO (1-percent annual chance zone feet)
  - 0.2-percent annual chance flood ha
- Flood Hazard Areas (Approxir 8/24)
- Parcels (standardized)
- Waterbody
- Stream
  - Stream
  - Intermittent Stream
- Roads
  - Interstate
  - US Highway; 1
  - State Highway
  - Town Highway (Class 1)
  - Town Highway (Class 2,3)
  - Town Highway (Class 4)
  - State Forest Trail
  - National Forest Trail

1: 9,741  
January 14, 2025



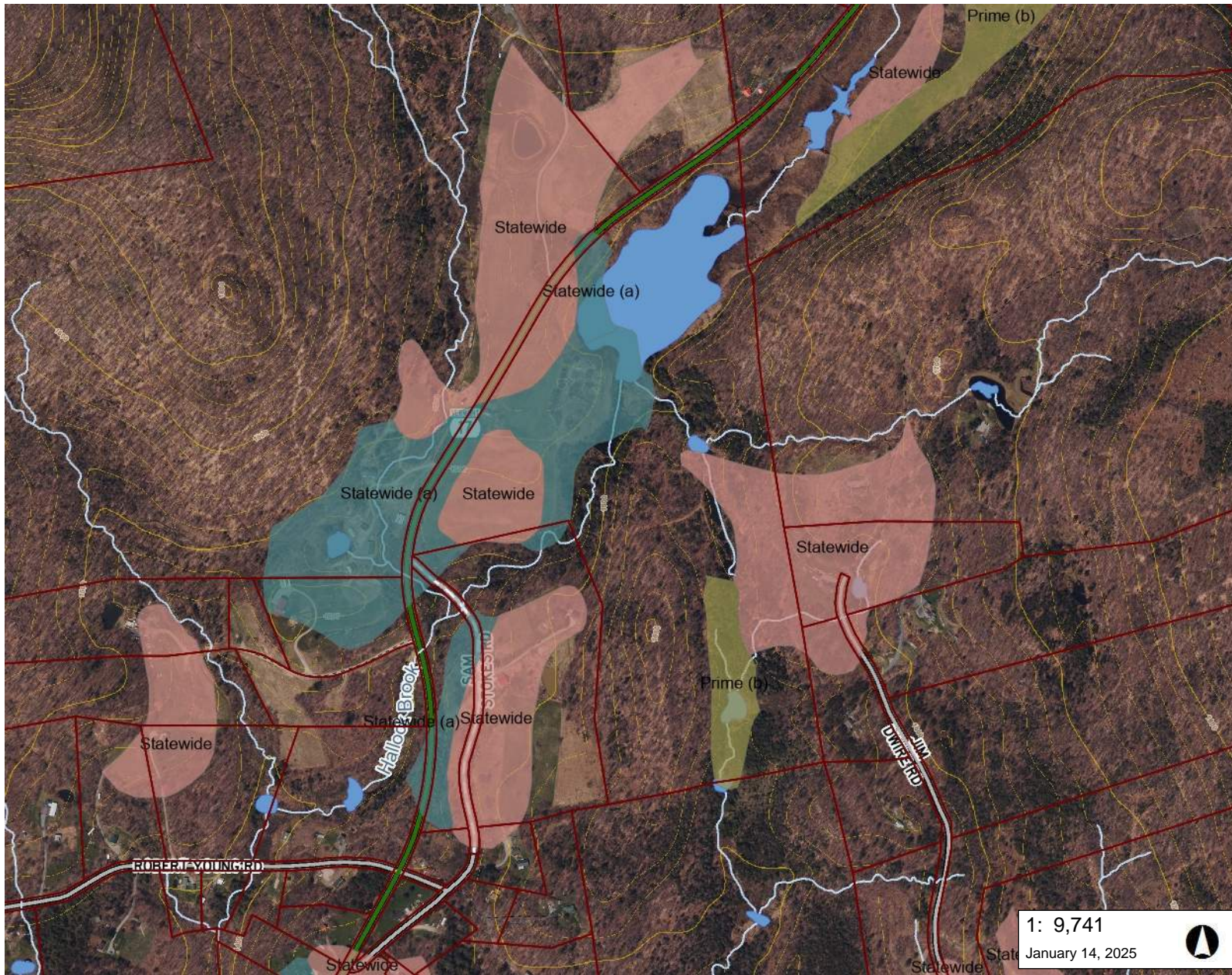
495.0 0 248.00 495.0 Meters  
 WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere 1" = 812 Ft. 1cm = 97 Meters  
 © Vermont Agency of Natural Resources THIS MAP IS NOT TO BE USED FOR NAVIGATION

DISCLAIMER: This map is for general reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. ANR and the State of Vermont make no representations of any kind, including but not limited to, the warranties of merchantability, or fitness for a particular use, nor are any such warranties to be implied with respect to the data on this map.

### NOTES

Map created using ANR's Natural Resources Atlas

**Exhibit G**



## LEGEND

- Soils - Primary Agricultural**
- Local
  - Local (b)
  - Not rated
  - Prime
  - Prime (b)
  - Prime (f)
  - Statewide
  - Statewide (a)
  - Statewide (b)
  - Statewide (c)
- Parcels (standardized)**
- Waterbody**
- Stream**
- Stream
  - Intermittent Stream
- Roads**
- Interstate
  - US Highway; 1
  - State Highway
  - Town Highway (Class 1)
  - Town Highway (Class 2,3)
  - Town Highway (Class 4)
  - State Forest Trail
  - National Forest Trail
  - Legal Trail
  - Private Road/Driveway
  - Proposed Roads

1: 9,741

January 14, 2025



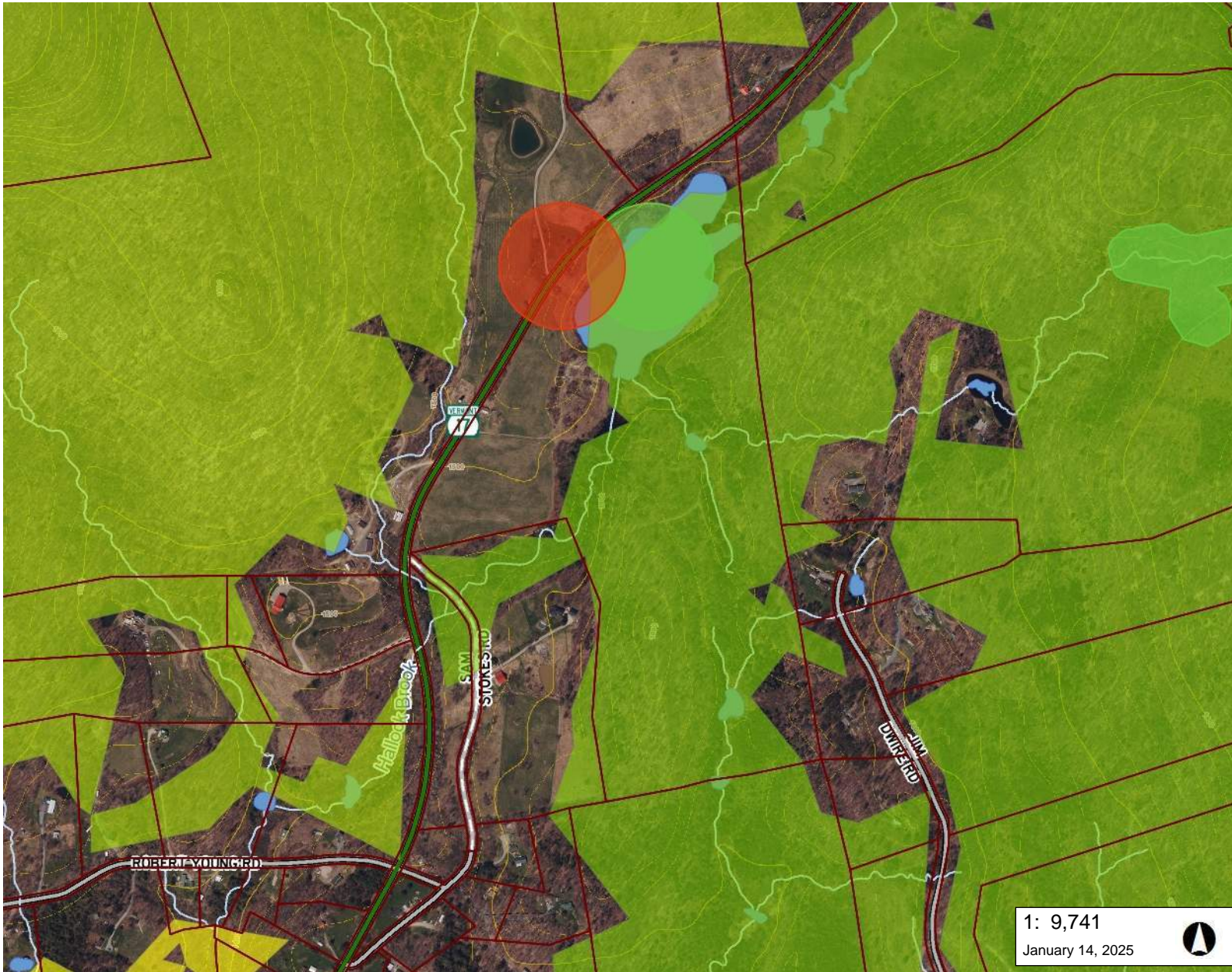
WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
 © Vermont Agency of Natural Resources  
 1" = 812 Ft.      1cm = 97 Meters  
**THIS MAP IS NOT TO BE USED FOR NAVIGATION**

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## NOTES

Map created using ANR's Natural Resources Atlas

**Exhibit G**



### LEGEND

- Uncommon Species and other
  - Plant
  - Animal
  - Natural Community
- Rare Threatened and Endange
  - RTE Animal
  - RTE Plant
- Significant Natural Communities
- Deer Wintering Areas
- Habitat Blocks
  - 10 - Higher Priority
  - 9
  - 8
  - 7
  - 6
  - 5
  - 4
  - 3
  - 2
  - 1 - Lower Priority
  - 0
- Parcels (standardized)
- Waterbody
- Stream
  - Stream
  - Intermittent Stream
- Roads
  - Interstate

### NOTES

Map created using ANR's Natural Resources Atlas

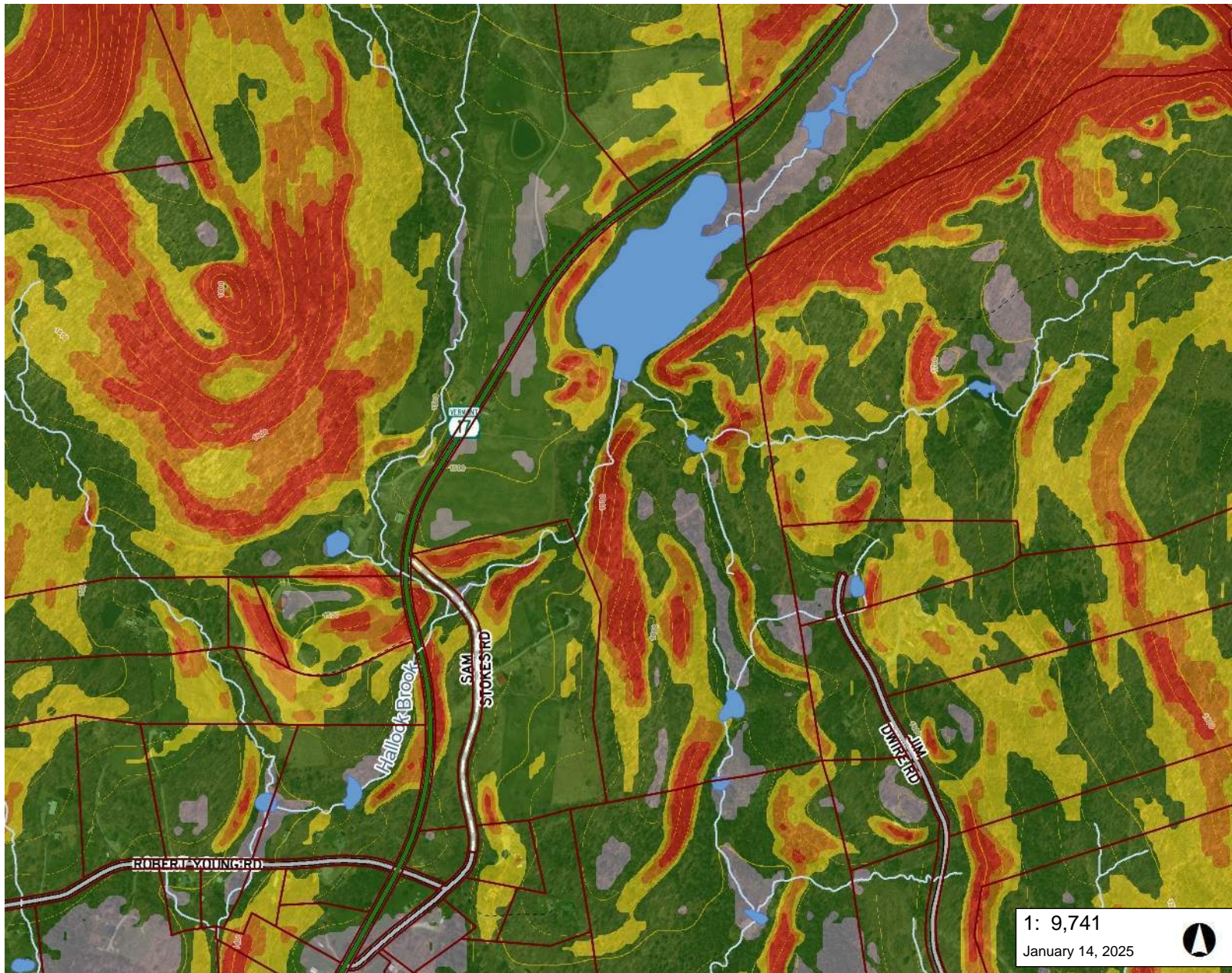
Exhibit G

495.0 0 248.00 495.0 Meters

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere 1" = 812 Ft. 1cm = 97 Meters

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### LEGEND

- Parcels (standardized)
- Waterbody
- Stream
  - Stream
  - Intermittent Stream
- Roads
  - Interstate
  - US Highway; 1
  - State Highway
  - Town Highway (Class 1)
  - Town Highway (Class 2,3)
  - Town Highway (Class 4)
  - State Forest Trail
  - National Forest Trail
  - Legal Trail
  - Private Road/Driveway
  - Proposed Roads
- Town Boundary
- Slope
  - <5%
  - 5-15%
  - 15-20%
  - 20-25%
  - >25%

1: 9,741  
January 14, 2025

495.0 0 248.00 495.0 Meters  
 WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere 1" = 812 Ft. 1cm = 97 Meters  
 © Vermont Agency of Natural Resources THIS MAP IS NOT TO BE USED FOR NAVIGATION

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### NOTES

Map created using ANR's Natural Resources Atlas

**Exhibit G**

ZONING INFORMATION <sup>1</sup>			
ZONING DISTRICTS			
AGRICULTURAL, SCENIC & RURAL RESIDENTIAL (ASRR), LOW DENSITY RESIDENTIAL & COMMERCIAL (LDRC), HIGH DENSITY RESIDENTIAL & COMMERCIAL (HDRC), WATERSHED PROTECTION (WP), FLOOD HAZARD OVERLAY (FHO)			
DIMENSIONAL REQUIREMENTS			
ASRR DISTRICT:			
RESIDENTIAL DENSITY:	1 DU/10 AC MAX.	RESIDENTIAL DENSITY:	2 DU/AC MAX.
LOT SIZE (RESIDENTIAL):	1/2 - 2 AC OR >25 AC	LOT SIZE (RESIDENTIAL):	1 AC MIN.
LOT SIZE (NONRESIDENTIAL):	2 AC MIN.	LOT SIZE (NONRESIDENTIAL):	1 AC MIN.
LOT FRONTAGE (LOT <2 AC):	100 FT. MIN.	LOT FRONTAGE (LOT <2 AC):	100 FT. MIN.
LOT FRONTAGE (LOT 2 TO <5 AC):	250 FT. MIN.	LOT FRONTAGE (LOT 2 TO <5 AC):	150 FT. MIN.
LOT FRONTAGE (LOT 5 TO <10 AC):	350 FT. MIN.	LOT FRONTAGE (LOT 5 TO <10 AC):	150 FT. MIN.
LOT FRONTAGE (LOT >10 AC):	500 FT. MIN.	LOT FRONTAGE (LOT >10 AC):	150 FT. MIN.
LOT COVERAGE (RESIDENTIAL):	20% MAX.	LOT COVERAGE (RESIDENTIAL):	NO MAX.
LOT COVERAGE (NONRESIDENTIAL):	LESSER OF 20% OR 3 AC MAX.	LOT COVERAGE (NONRESIDENTIAL):	NO MAX.
SETBACK - ROAD CENTERLINE:	100 FT. MIN.	SETBACK - ROAD CENTERLINE:	50 FT. MIN.
SETBACK - ADJ. PROP. (RES.):	20 FT. MIN.	SETBACK - ADJ. PROP. (RES.):	10 FT. MIN.
SETBACK - ADJ. PROP. (NONRES.):	50 FT. MIN.	SETBACK - ADJ. PROP. (NONRES.):	20 FT. MIN.
BUILDING FOOTPRINT (1- & 2- FAMILY RES.):	NO MAX.	BUILDING FOOTPRINT (1- & 2- FAMILY RES.):	5,000 SQ. FT. MAX.
BUILDING FOOTPRINT (ALL OTHER BLDGS.):	NO MAX.	BUILDING FOOTPRINT (ALL OTHER BLDGS.):	10,000 SQ. FT. MAX.
BUILDING HEIGHT:	35 FT. MAX.	BUILDING HEIGHT:	35 FT. MAX.
LDRC DISTRICT:			
RESIDENTIAL DENSITY:	1 DU/5 AC MAX.	RESIDENTIAL DENSITY:	1 DU/25 AC MAX.
LOT SIZE (RESIDENTIAL):	1 AC MIN.	LOT SIZE (RESIDENTIAL):	25 ACRE MIN.
LOT SIZE (NONRESIDENTIAL):	5 AC MIN.	LOT SIZE (NONRESIDENTIAL):	500 FT. MIN.
LOT FRONTAGE (LOT <2 AC):	100 FT. MIN.	LOT FRONTAGE (LOT <2 AC):	500 FT. MIN.
LOT FRONTAGE (LOT 2 TO <5 AC):	150 FT. MIN.	LOT FRONTAGE (LOT 2 TO <5 AC):	500 FT. MIN.
LOT FRONTAGE (LOT 5 TO <10 AC):	200 FT. MIN.	LOT FRONTAGE (LOT 5 TO <10 AC):	500 FT. MIN.
LOT FRONTAGE (LOT >10 AC):	200 FT. MIN.	LOT FRONTAGE (LOT >10 AC):	500 FT. MIN.
LOT COVERAGE (RESIDENTIAL):	20% MAX.	LOT COVERAGE (RESIDENTIAL):	10% MAX.
LOT COVERAGE (NONRESIDENTIAL):	LESSER OF 20% OR 3 ACRES MAX.	LOT COVERAGE (NONRESIDENTIAL):	LESSER OF 5% OR 3 ACRES MAX.
SETBACK - ROAD CENTERLINE:	75 FT. MIN.	SETBACK - ROAD CENTERLINE:	75 FT. MIN.
SETBACK - ADJ. PROP. (RES.):	20 FT. MIN.	SETBACK - ADJ. PROP. (RES.):	20 FT. MIN.
SETBACK - ADJ. PROP. (NONRES.):	50 FT. MIN.	SETBACK - ADJ. PROP. (NONRES.):	50 FT. MIN.
BUILDING FOOTPRINT (1- & 2- FAMILY RES.):	NO MAX.	BUILDING FOOTPRINT (1- & 2- FAMILY RES.):	NO MAX.
BUILDING FOOTPRINT (ALL OTHER BLDGS.):	NO MAX.	BUILDING FOOTPRINT (ALL OTHER BLDGS.):	NO MAX.
BUILDING HEIGHT:	35 FT. MAX.	BUILDING HEIGHT:	35 FT. MAX.
FHO DISTRICT:			
(SEE STARKSBORO LUDR CHAPTER 280)			

<sup>1</sup>PER TOWN OF STARKSBORO LAND USE AND DEVELOPMENT REGULATIONS ADOPTED JANUARY 7, 2020.

RESIDENTIAL DENSITY CALCULATION			
ZONING DISTRICT	LOT AREA (ACRES)	MAXIMUM DENSITY (DU/ACRE)	MAXIMUM DWELLING UNITS PERMITTED
ASRR	56.08	1 DU/10 AC	5.61
LDRC	26.23	1 DU/5 AC	5.24
HDRC	2.58	2 DU/1 AC	5.16
TOTAL			16.01

NOTE: RESIDENTIAL DENSITY CALCULATION DOES NOT ACCOUNT FOR 30-FOOT EXTENSION OF HIGHER DENSITY DISTRICTS INTO LOWER DENSITY DISTRICTS AS PERMITTED BY SECTION 2.04.B(1) OF THE STARKSBORO LAND USE AND DEVELOPMENT REGULATIONS.

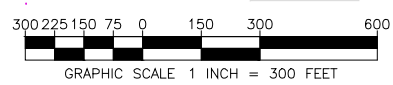
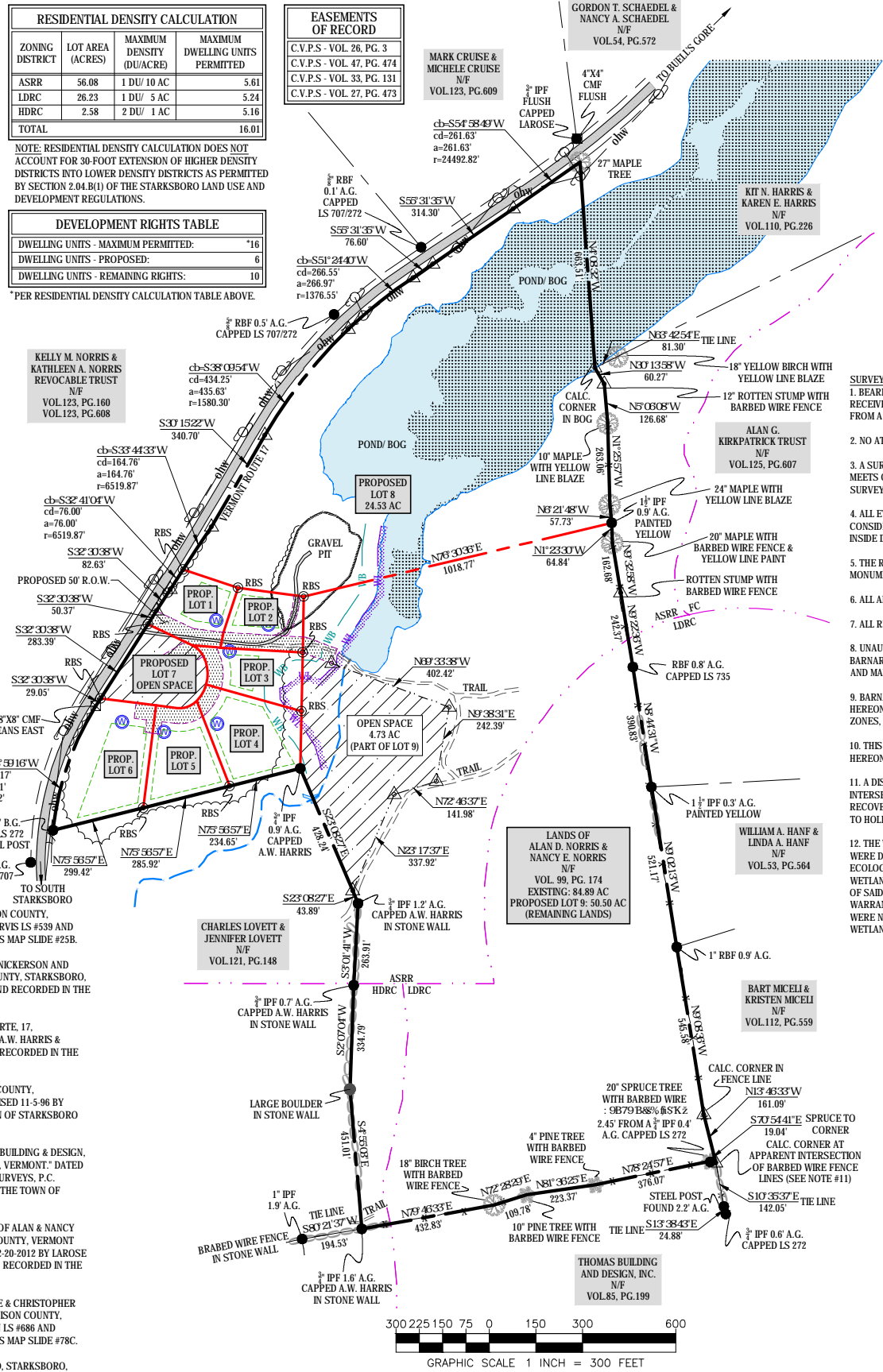
DEVELOPMENT RIGHTS TABLE	
DWELLING UNITS - MAXIMUM PERMITTED:	16
DWELLING UNITS - PROPOSED:	6
DWELLING UNITS - REMAINING RIGHTS:	10

\*PER RESIDENTIAL DENSITY CALCULATION TABLE ABOVE.

LEGEND	
	PROJECT BOUNDARY LINES
	PROPOSED BOUNDARY LINES
	ABUTTING BOUNDARY LINES
	EXISTING EASEMENT/ RIGHT-OF-WAY
	PROPOSED EASEMENT/ RIGHT-OF-WAY
	PROPOSED BUILDING ENVELOPE
	ZONING DISTRICT BOUNDARY
	CONCRETE MONUMENT FOUND
	REBAR FOUND
	IRON PIPE FOUND
	REBAR SET
	CALCULATED CORNER
	ABOVE GRADE
	BELOW GRADE
	NOW OR FORMERLY
	CURVE DATA - CHORD BEARING
	CURVE DATA - CHORD DISTANCE
	CURVE DATA - ARC LENGTH
	CURVE DATA - RADIUS
	DRILLED WELL
	TREE - HARDWOOD
	TREE - SOFTWOOD
	TREE LINE
	UTILITY POLE & OVERHEAD WIRES
	BARBED WIRE FENCE
	STONE WALL
	TRAIL
	BROOK (APPROXIMATE CENTERLINE)
	OPEN SPACE BOUNDARY
	WETLAND BOUNDARY
	WETLAND BUFFER BOUNDARY

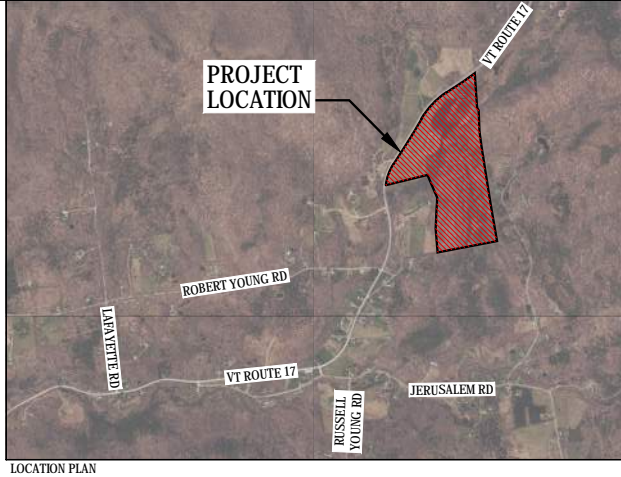
PROPOSED SUBDIVISION LOTS		
LOT #	LOT AREA	USE
LOT 1	1.05 AC	RESIDENTIAL
LOT 2	1.04 AC	RESIDENTIAL
LOT 3	1.12 AC	RESIDENTIAL
LOT 4	1.71 AC	RESIDENTIAL
LOT 5	1.41 AC	RESIDENTIAL
LOT 6	2.16 AC	RESIDENTIAL
LOT 7	1.36 AC	OPEN SPACE
LOT 8	24.53 AC	GRAVEL PIT
LOT 9	50.50 AC	REMAINING LANDS INCL. OPEN SPACE

- SURVEY REFERENCES:**
- "PROPERTY OF LYNN A. & FRANCIS M. HARVEY, ADDISON COUNTY, STARKSBORO, VT." DATED AUG. 29, 1983 BY RODNEY R. ORVIS LS #539 AND RECORDED IN THE TOWN OF STARKSBORO MAP RECORDS MAP SLIDE #25R.
  - "RESUBDIVISION PLAT FOR: GEORGE E. & BETSY LANE NICKERSON AND ALAN & MARY G. KIRKPATRICK LOCATED IN: ADDISON COUNTY, STARKSBORO, VT." DATED APRIL 8, 1988 BY RODNEY R. ORVIS LS #539 AND RECORDED IN THE TOWN OF STARKSBORO MAP RECORDS MAP SLIDE #48R.
  - "LANDS TO BE CONVEYED TO ELIZABETH W. DAVIS, VT. RTE. 17, STARKSBORO, VERMONT." DATED 22 DECEMBER 1988 BY A.W. HARRIS & ASSOCIATES, STAMPED ALBERT W. HARRIS LS #584 AND RECORDED IN THE TOWN OF STARKSBORO MAP RECORDS MAP SLIDE #63D.
  - "PROPERTY OF LOUIS E. & LISA L. SANCHEZ, ADDISON COUNTY, STARKSBORO, VT." DATED SEPTEMBER 17, 1996 AND REVISED 11-5-96 BY RONALD L. LAROSE LS #272 AND RECORDED IN THE TOWN OF STARKSBORO MAP RECORDS MAP SLIDE #45F.
  - "PLAT SHOWING A SUBDIVISION OF LANDS OF THOMAS BUILDING & DESIGN, INC. JERUSALEM ROAD, STARKSBORO, ADDISON COUNTY, VERMONT." DATED SEPTEMBER 24, 2006 AND REVISED 11/20/08 BY LAROSE SURVEYS, P.C. STAMPED RONALD L. LAROSE LS #272 AND RECORDED IN THE TOWN OF STARKSBORO MAP RECORDS MAP SLIDE #64E.
  - "PLAT SHOWING A PROPOSED SUBDIVISION OF LANDS OF ALAN & NANCY NORRIS, VERMONT ROUTE 17, STARKSBORO, ADDISON COUNTY, VERMONT SHEET 1 OF 2." DATED OCTOBER 24, 2011 AND REVISED 12-20-2012 BY LAROSE SURVEYS, P.C. STAMPED RONALD L. LAROSE LS #272 AND RECORDED IN THE TOWN OF STARKSBORO MAP RECORDS MAP SLIDE #77B.
  - "SURVEY PLAT OF LANDS BELONGING TO ELISSA CLOSE & CHRISTOPHER BRADY, #3556 VT ROUTE 17, TOWN OF STARKSBORO, ADDISON COUNTY, VERMONT." DATED 30 MAY 2014 BY DONALD A. JOHNSTON LS #688 AND RECORDED IN THE TOWN OF STARKSBORO MAP RECORDS MAP SLIDE #78C.
  - "LANDS OF ALAN G. KIRKPATRICK, .864 JIM DWIRE ROAD, STARKSBORO, VERMONT, BOUNDARY LINE ADJUSTMENT SURVEY PLAT." DATED 10-11-2019 BY BARNARD & GERVAIS, LLC STAMPED MICHAEL J. GERVAIS LS #735 AND RECORDED IN THE TOWN OF STARKSBORO MAP RECORDS MAP SLIDE #85D&E.
  - "PLAT SHOWING A PROPOSED BOUNDARY LINE ADJUSTMENT BETWEEN LANDS OF ALAN & NANCY NORRIS AND LANDS OF KELLY M. & KATHLEEN A. NORRIS, VERMONT ROUTE 17, STARKSBORO, ADDISON COUNTY, VERMONT." DATED JULY 20, 2020 BY RONALD L. LAROSE LS #272 AND RECORDED IN THE TOWN OF STARKSBORO MAP RECORDS MAP SLIDE #86D.



THIS FINAL PLAT HAS BEEN APPROVED BY RESOLUTION OF THE DEVELOPMENT REVIEW BOARD OF THE TOWN OF STARKSBORO, VERMONT: THIS \_\_\_ DAY OF \_\_\_, 20\_\_\_, SUBJECT TO THE REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. SIGNED THIS \_\_\_ DAY OF \_\_\_, 20\_\_\_, BY \_\_\_\_\_, CHAIR

I CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THIS PLAN IS BASED ON INFORMATION ABSTRACTED FROM PERTINENT DEEDS AND/OR OTHER OFFICIAL RECORDS AND CONFORMS TO THE REQUIREMENTS OF 27 V.S.A. §1403. DATED THIS \_\_\_ DAY OF \_\_\_, 20\_\_\_, L.S. 0132699



- SURVEY NOTES:**
- BEARINGS SHOWN HEREON WERE GENERATED FROM SURVEY GRADE GNSS READINGS COLLECTED WITH A TRIMBLE R12i GNSS RECEIVER ON RANDOM CONTROL POINTS AND ADJUSTED TO VT GRID NAD83(2011) USING REAL TIME KINEMATIC CORRECTIONS FROM A VIRTUAL REFERENCE STATION GENERATED BY THE VERMONT COORS NETWORK.
  - NO ATTEMPT HAS BEEN MADE TO LOCATE OR IDENTIFY ANY EASEMENTS OR RIGHTS OF WAYS UNLESS OTHERWISE SHOWN ON THIS PLAN.
  - A SURVEY WAS COMPLETED IN JULY, 2025 USING A TRIMBLE R750, R12i & R780 BASE-ROVER CONFIGURATION. THE RESULTING ERROR MEETS OR EXCEEDS THE MINIMUM REQUIRED STANDARDS FOR A SUBURBAN SURVEY AS ESTABLISHED BY THE VERMONT BOARD OF LAND SURVEYORS.
  - ALL EVIDENCE OF MONUMENTATION FOUND ON THE SURVEYED PREMISES IS SHOWN HEREON. MONUMENTATION FOUND IS CONSIDERED TO BE IN GOOD AND STABLE CONDITION UNLESS OTHERWISE NOTED. ALL IRON PIPE DIMENSIONS PERTAIN TO INSIDE DIAMETER UNLESS OTHERWISE NOTED.
  - THE RIGHT OF WAY WIDTH FOR VERMONT ROUTE 17 ROAD OF 4 RODS (66') IS BASED ON PREVIOUS SURVEYS OF RECORD. MONUMENTATION FOUND, THE TRAVELED WAY AND HIGHWAY BOOK 3 PAGES 29-31 OF THE TOWN OF STARKSBORO LAND RECORDS.
  - ALL AREA CALCULATIONS ARE BASED ON THE EDGE OF THE RIGHTS OF WAY OF SAID ROAD AND NOT THE CENTERLINE THEREOF.
  - ALL REBAR SET ARE 5/8" WITH A CAP STAMPED AWW VTLS 0132699 AND ALL MONUMENTATION FOUND IS AS NOTED.
  - UNAUTHORIZED ALTERATIONS AND/OR MODIFICATIONS TO THIS PLAN SHALL INVALIDATE ANY AND ALL CERTIFICATIONS MADE BY BARNARD & GERVAIS, LLC AND FURTHER ANY PARTIES INVOLVED IN SAID ALTERATIONS AND/OR MODIFICATIONS SHALL BE HELD LIABLE AND MAY BE PROSECUTED IN A COURT OF LAW.
  - BARNARD AND GERVAIS, LLC MAKES NO WARRANTIES THAT ALL ENCUMBRANCES THAT EXIST FOR THE SUBJECT PARCEL ARE SHOWN HEREON. ADDITIONAL ENCUMBRANCES THAT MAY EXIST INCLUDE, BUT ARE NOT LIMITED TO, WETLANDS, WELL AND SEPTIC ISOLATION ZONES, HAZARDOUS WASTE SITES AND/OR BROWNFIELDS WITH ASSOCIATED ISOLATION ZONES.
  - THIS SUBDIVISION PLAT IS NOT INTENDING TO CREATE ANY EASEMENTS OTHER THAN THOSE SPECIFICALLY LISTED AND DESCRIBED HEREON. ANY DRIVES, PATHS, TRAILS OR OTHER AMENITIES SHOWN HEREON ARE CONSIDERED PRIVATE UNLESS OTHERWISE NOTED.
  - A DISCREPANCY BETWEEN SURVEY REFERENCES #4 & #5 WAS OBSERVED WHERE IT APPEARS THE INTENT IS TO HOLD THE INTERSECTION OF A BARBED WIRE FENCE RUNNING NORTH-SOUTH WITH A BARBED WIRE FENCE RUNNING EAST-WEST. EVIDENCE RECOVERED IN THE FIELD DOES NOT MATCH THE PERPETUATION OF MONUMENTS AND EVIDENCE SHOWN ON THE REFERENCED SURVEYS. TO HOLD THE INTENT OF THE RECORDED SURVEYS, THE INTERSECTION OF THE BARBED WIRE FENCE LINES IS BEING HELD AS THE CORNER.
  - THE WETLAND BOUNDARIES AND ASSOCIATED BUFFERS SHOWN HEREON IN THE VICINITY OF THE PROPOSED DEVELOPMENT AREA WERE DELINEATED BY DEREK THIBODEAU OF BARNARD AND GERVAIS, LLC AND APPROVED BY STATE OF VERMONT DISTRICT WETLAND ECOLOGIST ZAPATA COURAGE IN OCTOBER, 2025. THIS WETLAND DELINEATION IS VALID FOR A MAXIMUM OF FIVE (5) YEARS. ADDITIONAL WETLANDS WERE SHOWN ON THE SUBJECT PARCEL ON THE "VERMONT NATURAL RESOURCES ATLAS"; NO OTHER WETLAND DELINEATION OF SAID PARCEL HAS BEEN CONDUCTED OF WHICH BARNARD AND GERVAIS, LLC IS AWARE. BARNARD AND GERVAIS, LLC MAKES NO WARRANTIES THAT WETLANDS OR ASSOCIATED BUFFERS DO OR DO NOT EXIST ON THE REMAINING PORTIONS OF SAID PARCEL THAT WERE NOT EVALUATED AS PART OF THIS PROJECT. IT IS RECOMMENDED THAT THE LANDOWNER OR CONTRACTOR CONTACT A WETLAND SPECIALIST TO CONFIRM NO WETLANDS OR ASSOCIATED BUFFERS EXIST PRIOR TO ANY EARTH WORK OR CONSTRUCTION.

RECEIVED FOR RECORD IN THE TOWN OF STARKSBORO  
 THIS \_\_\_ DAY OF \_\_\_, 20\_\_\_  
 MAP BOOK # \_\_\_\_\_ PLAT # \_\_\_\_\_  
 AND RECORDED IN STARKSBORO, VERMONT  
 ATTEST \_\_\_\_\_ TOWN CLERK

**Exhibit H**

DATE	DESCRIPTION	BY
	REVISIONS	

**BARNARD & GERVAIS, LLC** Land Surveying, Water & Wastewater, Environmental Consulting  
 187 Main Street, P.O. Box 820, Eastbury, VT 05459  
 18223 VT Route 116, P.O. Box 133, Blenheim, VT 05461  
 Telephone: (802) 933-5188, Telephone: (802) 682-2397

LANDS OF **ALAN D. NORRIS & NANCY E. NORRIS**  
 EASTERLY OF ROUTE 17, STARKSBORO, VERMONT  
**NINE-LOT SUBDIVISION SURVEY PLAT**

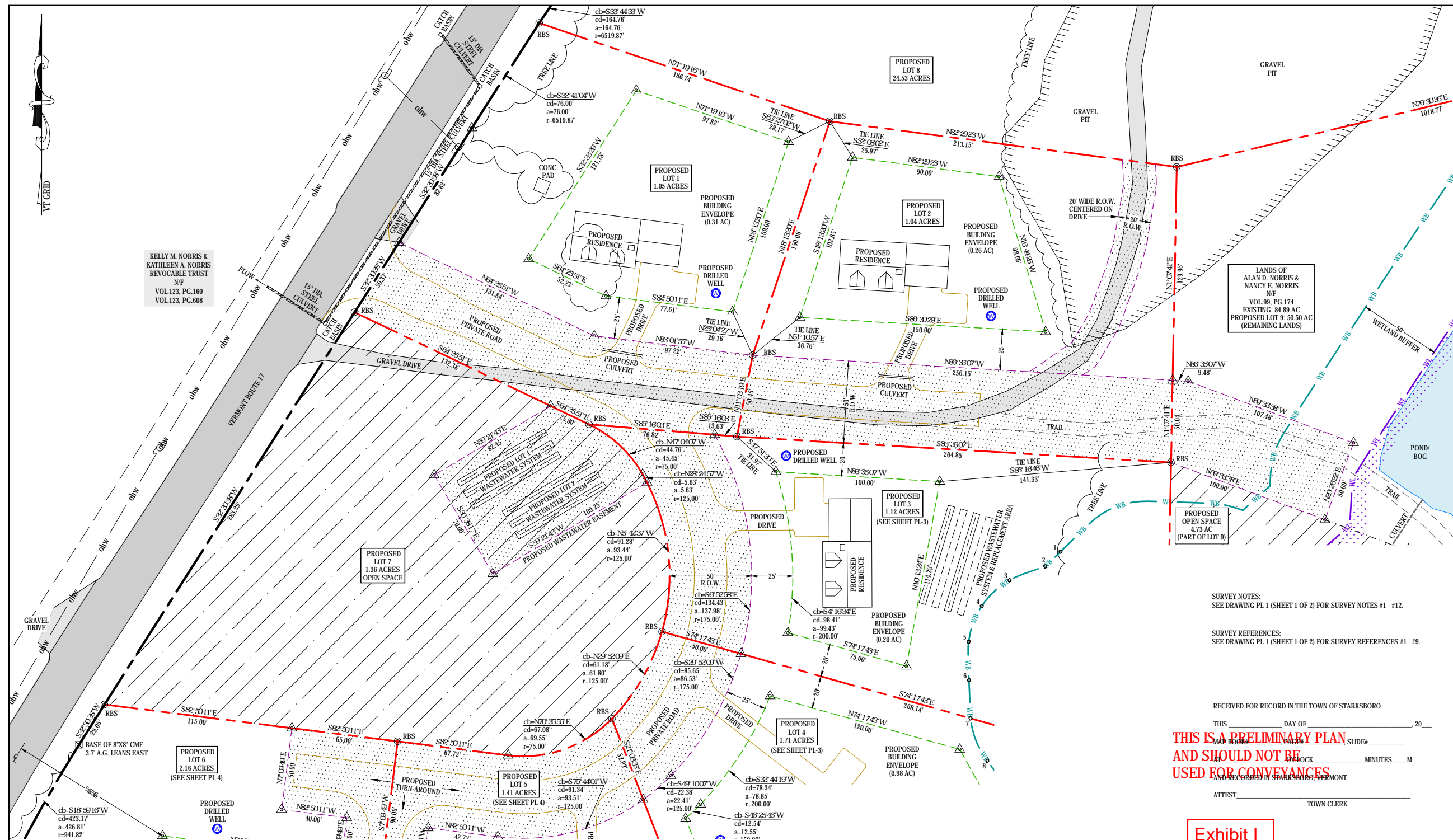
PROJECT NO. 24330  
 DATE: 01-29-2026  
 SCALE: 1" = 300'  
 SURVEY: TG, AW, MD  
 DRAWN: SB, AW  
 CHECKED: AW  
 DRAWING NO. PL-1  
 SHEET 1 OF 4

PARCEL INFORMATION  
 OWNER: ALAN D. NORRIS & NANCY E. NORRIS  
 VOL.99, PG.174  
 SPAN: 615-193-10815  
 PARCEL ID: 10815

SHOWN BELOW:  
 SKETCH/CONCEPT  PRELIMINARY  FINAL LOCAL REVIEW

**Town of Starksboro RECEIVED**  
 2/25/2026

**DRAFT FOR: TOWN OF STARKSBORO PRELIMINARY REVIEW**



KELLY M. NORRIS &  
KATHLEEN A. NORRIS  
REVOCABLE TRUST  
N/F  
VOL.123, PG.160  
VOL.123, PG.608

LANDS OF  
ALAN D. NORRIS &  
NANCY E. NORRIS  
N/E  
VOL.99, PG.174  
EXISTING: 84.89 AC  
PROPOSED LOT 9: 50.50 AC  
(REMAINING LANDS)

**SURVEY NOTES:**  
SEE DRAWING PL-1 (SHEET 1 OF 2) FOR SURVEY NOTES #1 - #12.

**SURVEY REFERENCES:**  
SEE DRAWING PL-1 (SHEET 1 OF 2) FOR SURVEY REFERENCES #1 - #9.

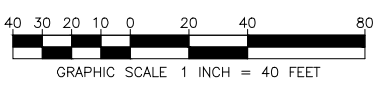
RECEIVED FOR RECORD IN THE TOWN OF STARKSBORO  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_

**THIS IS A PRELIMINARY PLAN  
AND SHOULD NOT BE  
USED FOR CONVEYANCES**

ATTEST \_\_\_\_\_  
TOWN CLERK

**LEGEND**

	PROJECT BOUNDARY LINES		RBF REBAR FOUND
	PROPOSED BOUNDARY LINES		IPF IRON PIPE FOUND
	EXISTING EASEMENT/ RIGHT-OF-WAY		RBS REBAR SET
	PROPOSED EASEMENT/ RIGHT-OF-WAY		CC CALCULATED CORNER
	PROPOSED BUILDING ENVELOPE		A.G. ABOVE GRADE
	WETLAND BOUNDARY		B.G. BELOW GRADE
	WETLAND BUFFER BOUNDARY - 50'		N/F NOW OR FORMERLY
	UTILITY POLE & OVERHEAD WIRES		cb CURVE DATA - CHORD BEARING
	BARBED WIRE FENCE		cd CURVE DATA - CHORD DISTANCE
	STONE WALL		a CURVE DATA - ARC LENGTH
	BLAZED/ PAINTED LINE		r CURVE DATA - RADIUS
	TREE LINE		T-H TREE - HARDWOOD
	TRANSFORMER/ ELECTRICAL PEDESTAL		T-S TREE - SOFTWOOD
	DRILLED WELL		B BOULDER



**Town of Starksboro  
RECEIVED  
2/25/2026**

THIS FINAL PLAT HAS BEEN APPROVED BY RESOLUTION OF THE DEVELOPMENT REVIEW BOARD OF THE TOWN OF STARKSBORO, VERMONT; THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_ SUBJECT TO THE REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_ BY \_\_\_\_\_ CHAIR

I CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THIS PLAN IS BASED ON INFORMATION ABSTRACTED FROM PERTINENT DEEDS AND/OR OTHER OFFICIAL RECORDS AND CONFORMS TO THE REQUIREMENTS OF 27 VSA §1403.

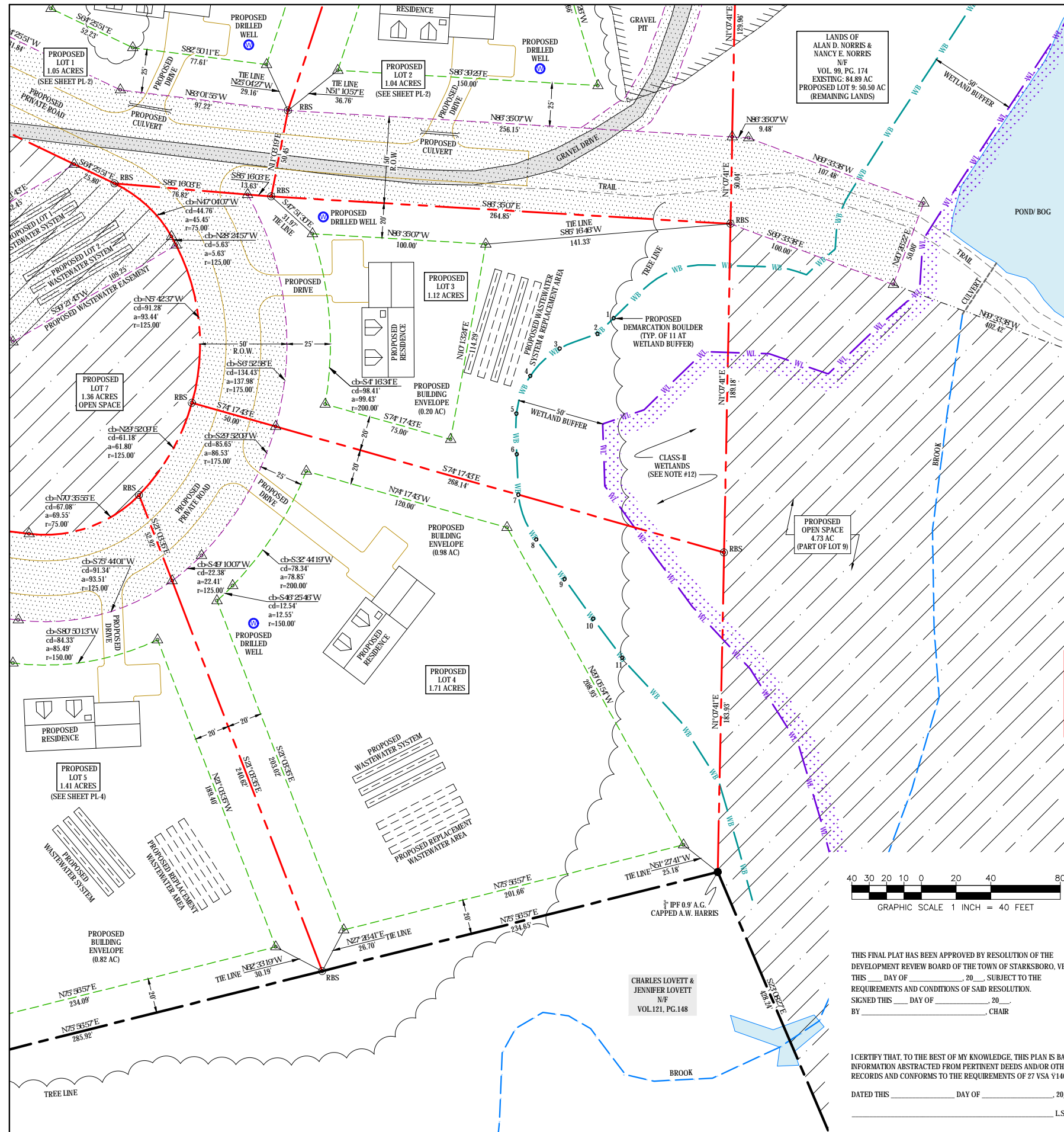
DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_  
L.S. 0132699

PARCEL INFORMATION  
OWNER: ALAN D. NORRIS &  
NANCY E. NORRIS  
VOL.99, PG.174  
SPAN: 615-193-10815  
PARCEL ID: 10815

**DRAFT  
FOR:  
TOWN OF  
STARKSBORO  
PRELIMINARY  
REVIEW**

**Exhibit I**

DATE	DESCRIPTION	BY
REVISIONS		
 <b>BARNARD &amp; GERVAIS &amp; CO.</b> Land Surveying Water & Wastewater Environmental Consulting <small>187 Main Street, P.O. Box 820            Eastbury, VT 05459            Telephone: (802) 933-5168</small>		
PROJECT NO. 24330		DATE: 01-29-2026
LANDS OF <b>ALAN D. NORRIS &amp; NANCY E. NORRIS</b>		SCALE: 1" = 40'
EASTERLY OF ROUTE 17, STARKSBORO, VERMONT		SURVEY: TG, AW, MD
<b>NINE-LOT SUBDIVISION SURVEY PLAT</b>		DRAWN: SB, AW
THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW:		CHECKED: AW
<input type="checkbox"/> SKETCH/CONCEPT	<input checked="" type="checkbox"/> PRELIMINARY	<input type="checkbox"/> FINAL LOCAL REVIEW
		DRAWING NO. <b>PL-2</b>
		SHEET 2 OF 4



**Town of Starksboro  
RECEIVED**  
2/25/2026

**SURVEY NOTES:**  
SEE DRAWING PL-1 (SHEET 1 OF 2) FOR SURVEY NOTES #1 - #12.

**SURVEY REFERENCES:**  
SEE DRAWING PL-1 (SHEET 1 OF 2) FOR SURVEY REFERENCES #1 - #9.

- LEGEND**
- PROJECT BOUNDARY LINES
  - PROPOSED BOUNDARY LINES
  - ABUTTING BOUNDARY LINES
  - EXISTING EASEMENT/ RIGHT-OF-WAY
  - PROPOSED EASEMENT/ RIGHT-OF-WAY
  - PROPOSED BUILDING ENVELOPE
  - ZONING DISTRICT BOUNDARY
  - CMF CONCRETE MONUMENT FOUND
  - RBF REBAR FOUND
  - IPF IRON PIPE FOUND
  - RBS REBAR SET
  - △ CALCULATED CORNER
  - A.G. ABOVE GRADE
  - B.G. BELOW GRADE
  - N/F NOW OR FORMERLY
  - cb CURVE DATA - CHORD BEARING
  - cd CURVE DATA - CHORD DISTANCE
  - a CURVE DATA - ARC LENGTH
  - r CURVE DATA - RADIUS
  - ⊙ DRILLED WELL
  - ⊙ TREE - HARDWOOD
  - ⊙ TREE - SOFTWOOD
  - ⊙ BOULDER
  - TREE LINE
  - ohw UTILITY POLE & OVERHEAD WIRES
  - X X X BARBED WIRE FENCE
  - STONE WALL
  - TRAIL
  - BROOK (APPROXIMATE CENTERLINE)
  - OPEN SPACE BOUNDARY
  - WETLAND BOUNDARY
  - WB WETLAND BUFFER BOUNDARY

RECEIVED FOR RECORD IN THE TOWN OF STARKSBORO  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_  
THIS IS A PRELIMINARY PLAN AND SHOULD NOT BE USED FOR CONVEYANCES  
AND RECORDED IN STARKSBORO, VERMONT  
ATTEST \_\_\_\_\_ TOWN CLERK

**Exhibit J**

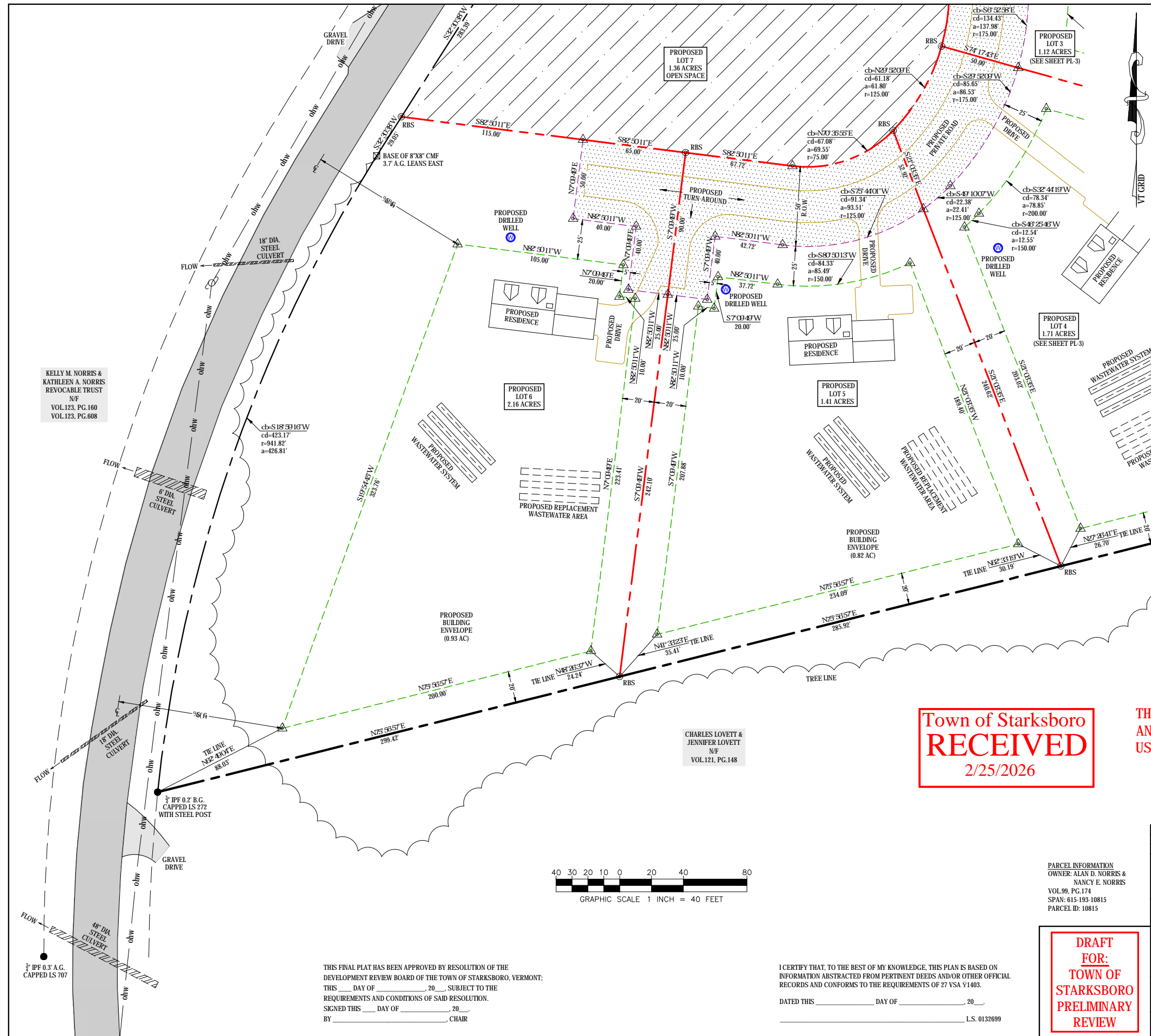
PARCEL INFORMATION  
OWNER: ALAN D. NORRIS & NANCY E. NORRIS  
VOL. 99, PG. 174  
SPAN: 615-193-10815  
PARCEL ID: 10815

**DRAFT FOR:  
TOWN OF STARKSBORO  
PRELIMINARY REVIEW**

THIS FINAL PLAT HAS BEEN APPROVED BY RESOLUTION OF THE DEVELOPMENT REVIEW BOARD OF THE TOWN OF STARKSBORO, VERMONT; THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ SUBJECT TO THE REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION.  
SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ BY \_\_\_\_\_ CHAIR

I CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THIS PLAN IS BASED ON INFORMATION ABSTRACTED FROM PERTINENT DEEDS AND/OR OTHER OFFICIAL RECORDS AND CONFORMS TO THE REQUIREMENTS OF 27 VSA §1403.  
DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ L.S. 0132699

DATE	DESCRIPTION	BY
REVISIONS		
<b>LANDS OF ALAN D. NORRIS &amp; NANCY E. NORRIS</b>		
EASTERLY OF ROUTE 17, STARKSBORO, VERMONT		
<b>NINE-LOT SUBDIVISION SURVEY PLAT</b>		
THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW:		
<input type="checkbox"/> SKETCH/CONCEPT	<input checked="" type="checkbox"/> PRELIMINARY	<input type="checkbox"/> FINAL LOCAL REVIEW
PROJECT NO. 24330	DATE: 01-29-2026	DRAWING NO. PL-3
SCALE: 1" = 40'	SURVEY: TG, AW, MD	SHEET 3 OF 4
DRAWN: SB, AW	CHECKED: AW	



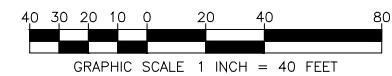
KELLY M. NORRIS & KATHLEEN A. NORRIS REVOCABLE TRUST  
N/F  
VOL.123, PG.160  
VOL.123, PG.608

CHARLES LOVETT & JENNIFER LOVETT  
N/F  
VOL.121, PG.148

**Town of Starksboro RECEIVED**  
2/25/2026

RECEIVED FOR RECORD IN THE TOWN OF STARKSBORO  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_  
MAP BOOK \_\_\_\_\_ PAGE# \_\_\_\_\_  
AT \_\_\_\_\_ O'CLOCK \_\_\_\_\_ MINUTES \_\_\_\_\_ M  
AND RECORDED IN STARKSBORO, VERMONT  
ATTEST \_\_\_\_\_  
TOWN CLERK

**Exhibit K**



THIS FINAL PLAT HAS BEEN APPROVED BY RESOLUTION OF THE DEVELOPMENT REVIEW BOARD OF THE TOWN OF STARKSBORO, VERMONT;  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO THE REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION.  
SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_,  
BY \_\_\_\_\_, CHAIR

I CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THIS PLAN IS BASED ON INFORMATION ABSTRACTED FROM PERTINENT DEEDS AND/OR OTHER OFFICIAL RECORDS AND CONFORMS TO THE REQUIREMENTS OF 27 VSA §1403.  
DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.  
L.S. 0132699

**DRAFT FOR: TOWN OF STARKSBORO PRELIMINARY REVIEW**

PARCEL INFORMATION  
OWNER: ALAN D. NORRIS & NANCY E. NORRIS  
VOL.99, PG.174  
SPAN: 615-193-10815  
PARCEL ID: 10815

- SURVEY NOTES:**  
SEE DRAWING PL-1 (SHEET 1 OF 2) FOR SURVEY NOTES #1 - #12.
- SURVEY REFERENCES:**  
SEE DRAWING PL-1 (SHEET 1 OF 2) FOR SURVEY REFERENCES #1 - #9.
- LEGEND**
- PROJECT BOUNDARY LINES
  - - - PROPOSED BOUNDARY LINES
  - - - ABUTTING BOUNDARY LINES
  - - - EXISTING EASEMENT/ RIGHT-OF-WAY
  - - - PROPOSED EASEMENT/ RIGHT-OF-WAY
  - - - PROPOSED BUILDING ENVELOPE
  - - - ZONING DISTRICT BOUNDARY
  - ⊗ CMF CONCRETE MONUMENT FOUND
  - RBF REBAR FOUND
  - IPF IRON PIPE FOUND
  - ⊙ RBS REBAR SET
  - △ CALCULATED CORNER
  - A.G. ABOVE GRADE
  - B.G. BELOW GRADE
  - N/F NOW OR FORMERLY
  - cb CURVE DATA - CHORD BEARING
  - cd CURVE DATA - CHORD DISTANCE
  - a CURVE DATA - ARC LENGTH
  - r CURVE DATA - RADIUS
  - ⊕ DRILLED WELL
  - ⊗ TREE - HARDWOOD
  - ⊗ TREE - SOFTWOOD
  - TREE LINE
  - ohw UTILITY POLE & OVERHEAD WIRES
  - - - BARBED WIRE FENCE
  - - - STONE WALL
  - - - TRAIL
  - - - BROOK (APPROXIMATE CENTERLINE)
  - - - OPEN SPACE BOUNDARY
  - - - WETLAND BOUNDARY
  - - - WETLAND BUFFER BOUNDARY

DATE	DESCRIPTION	BY
REVISIONS		
<b>BARNARD &amp; GERVAIS, LLC</b> Land Surveying Water & Wastewater Environmental Consulting		
LANDS OF <b>ALAN D. NORRIS &amp; NANCY E. NORRIS</b> EASTERLY OF ROUTE 17, STARKSBORO, VERMONT		
<b>NINE-LOT SUBDIVISION SURVEY PLAT</b>		
THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW:		
<input type="checkbox"/> SKETCH/CONCEPT	<input checked="" type="checkbox"/> PRELIMINARY	<input type="checkbox"/> FINAL LOCAL REVIEW
PROJECT NO. 24330	DATE: 01-29-2026	SCALE: 1" = 40'
SURVEY: TG, AW, MD	DRAWN: SB, AW	CHECKED: AW
DRAWING NO. <b>PL-4</b>	SHEET 4 OF 4	

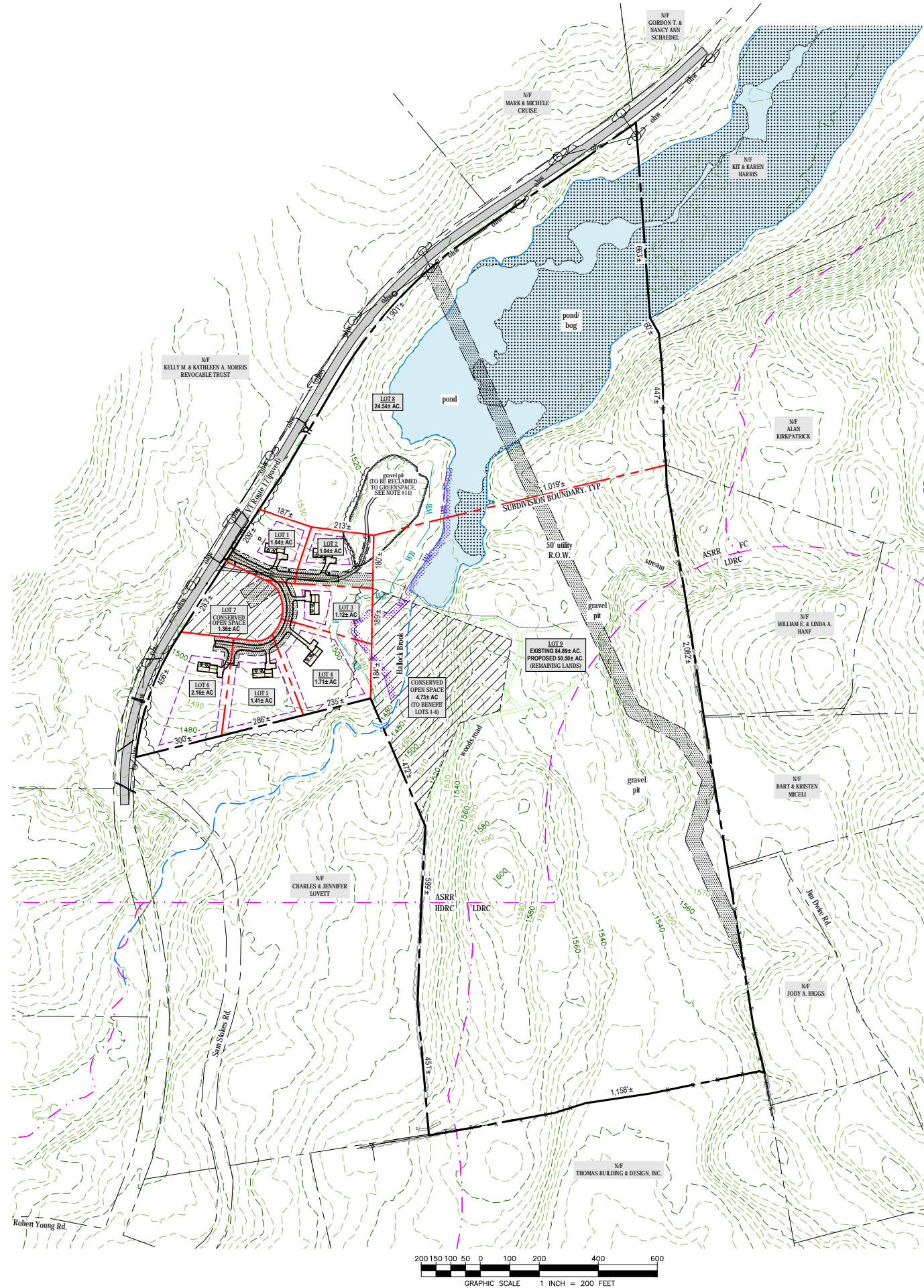
ZONING INFORMATION <sup>1</sup>			
ZONING DISTRICTS			
AGRICULTURAL, SCENIC & RURAL RESIDENTIAL (ASRR), LOW DENSITY RESIDENTIAL & COMMERCIAL (LDRC), HIGH DENSITY RESIDENTIAL & COMMERCIAL (HDRC), WATERSHED PROTECTION (WP), FLOOD HAZARD OVERLAY (FHO)			
DIMENSIONAL REQUIREMENTS			
<b>ASRR DISTRICT:</b>			
RESIDENTIAL DENSITY:	1 DU/ 10 AC MAX.	RESIDENTIAL DENSITY:	2 DU/ AC MAX.
LOT SIZE (RESIDENTIAL):	1/2 - 2 AC OR -25 AC	LOT SIZE (RESIDENTIAL):	1 AC MIN.
LOT SIZE (NONRESIDENTIAL):	2 AC MIN.	LOT SIZE (NONRESIDENTIAL):	1 AC MIN.
LOT FRONTAGE (LOT -2 AC):	100 FT. MIN.	LOT FRONTAGE (LOT -2 AC):	100 FT. MIN.
LOT FRONTAGE (LOT 2 TO -5 AC):	250 FT. MIN.	LOT FRONTAGE (LOT 2 TO -5 AC):	150 FT. MIN.
LOT FRONTAGE (LOT 5 TO -10 AC):	350 FT. MIN.	LOT FRONTAGE (LOT 5 TO -10 AC):	150 FT. MIN.
LOT FRONTAGE (LOT >10 AC):	500 FT. MIN.	LOT FRONTAGE (LOT >10 AC):	150 FT. MIN.
LOT COVERAGE (RESIDENTIAL):	20% MAX.	LOT COVERAGE (RESIDENTIAL):	NO MAX.
LOT COVERAGE (NONRESIDENTIAL):	LESSER OF 20% OR 3 AC MAX.	LOT COVERAGE (NONRESIDENTIAL):	NO MAX.
SETBACK - ROAD CENTERLINE:	100 FT. MIN.	SETBACK - ROAD CENTERLINE:	50 FT. MIN.
SETBACK - ADJ. PROP. (RES.):	20 FT. MIN.	SETBACK - ADJ. PROP. (RES.):	10 FT. MIN.
SETBACK - ADJ. PROP. (NONRES.):	50 FT. MIN.	SETBACK - ADJ. PROP. (NONRES.):	20 FT. MIN.
BUILDING FOOTPRINT (1- & 2- FAMILY RES.):	NO MAX.	BUILDING FOOTPRINT (1- & 2- FAMILY RES.):	5,000 SQ. FT. MAX.
BUILDING FOOTPRINT (ALL OTHER BLDGS.):	NO MAX.	BUILDING FOOTPRINT (ALL OTHER BLDGS.):	10,000 SQ. FT. MAX.
BUILDING HEIGHT:	35 FT. MAX.	BUILDING HEIGHT:	35 FT. MAX.
<b>LDRC DISTRICT:</b>			
RESIDENTIAL DENSITY:	1 DU/ 5 AC MAX.	RESIDENTIAL DENSITY:	1 DU/ 25 AC MAX.
LOT SIZE (RESIDENTIAL):	1 AC MIN.	LOT SIZE (RESIDENTIAL):	25 ACRE MIN.
LOT SIZE (NONRESIDENTIAL):	5 AC MIN.	LOT SIZE (NONRESIDENTIAL):	25 ACRE MIN.
LOT FRONTAGE (LOT -2 AC):	100 FT. MIN.	LOT FRONTAGE (LOT -2 AC):	500 FT. MIN.
LOT FRONTAGE (LOT 2 TO -5 AC):	150 FT. MIN.	LOT FRONTAGE (LOT 2 TO -5 AC):	500 FT. MIN.
LOT FRONTAGE (LOT 5 TO -10 AC):	200 FT. MIN.	LOT FRONTAGE (LOT 5 TO -10 AC):	500 FT. MIN.
LOT FRONTAGE (LOT >10 AC):	200 FT. MIN.	LOT FRONTAGE (LOT >10 AC):	500 FT. MIN.
LOT COVERAGE (RESIDENTIAL):	20% MAX.	LOT COVERAGE (RESIDENTIAL):	10% MAX.
LOT COVERAGE (NONRESIDENTIAL):	LESSER OF 20% OR 3 ACRES MAX.	LOT COVERAGE (NONRESIDENTIAL):	LESSER OF 5% OR 3 ACRES MAX.
SETBACK - ROAD CENTERLINE:	75 FT. MIN.	SETBACK - ROAD CENTERLINE:	75 FT. MIN.
SETBACK - ADJ. PROP. (RES.):	20 FT. MIN.	SETBACK - ADJ. PROP. (RES.):	20 FT. MIN.
SETBACK - ADJ. PROP. (NONRES.):	50 FT. MIN.	SETBACK - ADJ. PROP. (NONRES.):	50 FT. MIN.
BUILDING FOOTPRINT (1- & 2- FAMILY RES.):	NO MAX.	BUILDING FOOTPRINT (1- & 2- FAMILY RES.):	NO MAX.
BUILDING FOOTPRINT (ALL OTHER BLDGS.):	NO MAX.	BUILDING FOOTPRINT (ALL OTHER BLDGS.):	NO MAX.
BUILDING HEIGHT:	35 FT. MAX.	BUILDING HEIGHT:	35 FT. MAX.
<b>FHO DISTRICT:</b> (SEE STARKSBORO LUDR CHAPTER 280)			

<sup>1</sup>PER TOWN OF STARKSBORO LAND USE AND DEVELOPMENT REGULATIONS ADOPTED JANUARY 7, 2020.

RESIDENTIAL DENSITY CALCULATION				
ZONING DISTRICT	LOT AREA (ACRES)	MAXIMUM DENSITY (DU/ACRE)	MAXIMUM DWELLING UNITS PERMITTED	
ASRR	56.08	1 DU/ 10 AC	5	
LDRC	26.23	1 DU/ 5 AC	5	
HDRC	2.58	2 DU/ 1 AC	5	
<b>TOTAL</b>			<b>15</b>	

NOTE: RESIDENTIAL DENSITY CALCULATION DOES NOT ACCOUNT FOR 30-FOOT EXTENSION OF HIGHER DENSITY DISTRICTS INTO LOWER DENSITY DISTRICTS (AS PERMITTED BY SECTION 2.04(B)(1) OF THE STARKSBORO LAND USE AND DEVELOPMENT REGULATIONS).

- PROJECT NOTES:**
- THIS IS NOT A BOUNDARY SURVEY. PROJECT PERMETER LINES ARE BASED ON A PLAN ENTITLED "LANDS OF ALAN D. & NANCY E. NORRIS, 2798 VT ROUTE 17, STARKSBORO, VERMONT, NINE-LOT SUBDIVISION SURVEY PLAN" BY BARNARD AND GERVAIS, LLC, DATED 01/29/2026.
  - THE LOCATIONS OF EXISTING PHYSICAL FEATURES ON THIS PLAN ARE BASED ON A TOPOGRAPHIC SURVEY COMPLETED BY BARNARD AND GERVAIS, LLC IN JULY 2025.
  - THE ELEVATIONS ON THIS PLAN WITHIN THE DASHED BOUNDARIES SHOWN ARE 1-FOOT CONTOURS BASED ON NAVD83 (GEOID12B) ESTABLISHED FROM SURVEY GRADE GNSS READINGS COLLECTED WITH A TRIMBLE R12i GNSS RECEIVER ADJUSTED TO VERMONT GRID ON RANDOM CONTROL POINTS USING REAL TIME KINEMATIC CORRECTIONS FROM A VIRTUAL REFERENCE STATION OF THE VT CORS NETWORK. THE ELEVATIONS ON THIS PLAN OUTSIDE THE DASHED BOUNDARIES SHOWN ARE 1-FOOT LIDAR CONTOURS OBTAINED FROM THE STATE OF VERMONT VCGI OPEN DATA PORTAL DATABASE.
  - FOR CLARITY, TEXT IDENTIFYING EXISTING ITEMS IS LOWER CASE; TEXT IDENTIFYING PROPOSED ITEMS IS UPPER CASE.
  - NO ATTEMPT HAS BEEN MADE TO LOCATE ANY UNDERGROUND UTILITIES BY BARNARD AND GERVAIS, LLC. THE CONTRACTOR WILL BE RESPONSIBLE FOR CONTACTING DIG SAFE TO HAVE ANY UNDERGROUND UTILITIES MARKED PRIOR TO ANY EXCAVATION OR SITE WORK. THE CONTRACTOR SHALL NOTIFY THE DIG SAFE NETWORK AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
  - THESE WASTEWATER DISPOSAL SYSTEMS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE STATE OF VERMONT, AGENCY OF NATURAL RESOURCES, ENVIRONMENTAL PROTECTION RULES, CHAPTER 1, "WASTEWATER SYSTEM AND POTABLE WATER SUPPLY RULES" EFFECTIVE NOVEMBER 6, 2023.
  - A FORMAL WETLANDS DELINEATION WAS COMPLETED BY DEREK THIBODEAU OF BARNARD & GERVAIS, LLC IN 2025. THE WETLAND DELINEATION FLAGS WERE LOCATED DURING THE FIELD SURVEY WITH A SURVEY GRADE GPS UNIT AND ARE BASED ON STATE PLANE GRID. THE WETLAND DELINEATION WAS VERIFIED BY ZAPATA COURAGE OF THE STATE OF VERMONT WETLANDS OFFICE IN AUGUST, 2025.
  - BARNARD & GERVAIS, LLC IS NOT RESPONSIBLE FOR ANY ASPECTS OF HEALTH AND SAFETY ASSOCIATED WITH THIS PROJECT.
  - ALL EXCAVATION WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE STATE OF VERMONT, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) GUIDELINES FOR TRENCH EXCAVATIONS.
  - THE CONTRACTOR AND/OR LANDOWNER SHALL ADHERE TO THE GUIDELINES SET FORTH IN THE STATE OF VERMONT EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION SITES. IT IS THE RESPONSIBILITY OF THE LANDOWNER OR SITE CONTRACTOR TO ENSURE THESE GUIDELINES ARE FOLLOWED AND EROSION/SEDIMENT CONTROL MEASURES ARE MAINTAINED THROUGHOUT THE COURSE OF THE PROJECT.
  - AS SHOWN, THE PROJECT CONTAINS 35,850 SF OF PROPOSED NEW IMPERVIOUS SURFACE AREA. THE SUBJECT PROPERTY CURRENTLY CONTAINS AN EXISTING SAND AND GRAVEL PIT THAT INCLUDES IMPERVIOUS AREA. THE LANDOWNER IS PROPOSING TO RECLAIM THE EXISTING GRAVEL PIT AND CONVERT IT BACK TO PREVIOUS SURFACE/GREEN SPACE. AS A RESULT, THE TOTAL AMOUNT OF EXISTING AND PROPOSED IMPERVIOUS AREA WILL BE LESS THAN 1.0 ACRE (43, 560 S.F.).



Town of Starksboro  
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03/09/2026

Exhibit L

OWNER:  
ALAN D. & NANCY E. NORRIS  
DEED: Vol. 99, PG. 174  
SPAN # 615-193-10815  
PARCEL ID # 10815  
ACRES: 84.89±

SIGNATURE:  
  
JASON S. BARNARD  
LICENSED DESIGNER #126179

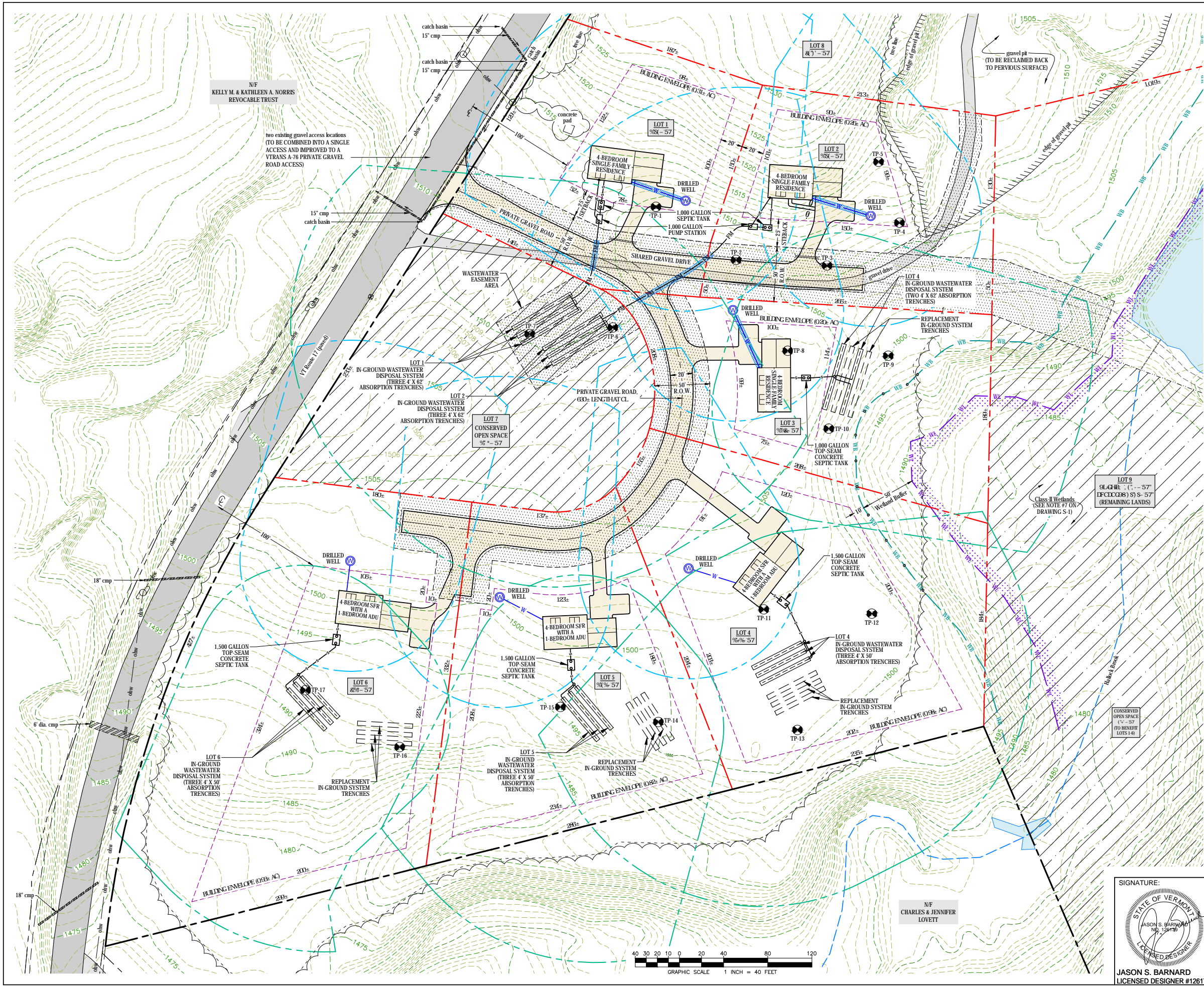
DATE	DESCRIPTION	BY
REVISIONS		
<b>BARNARD &amp; GERVAIS, LLC</b> Land Surveying Water & Wastewater Environmental Consulting		
167 Main Street, P.O. Box 820 Enosburg Falls, VT 05450 Telephone: (802) 923-6168		10523 VT Route 116, P.O. Box 133 Hinesburg, VT 05461 Telephone: (802) 482-2597
<b>PROPOSED NINE-LOT SUBDIVISION &amp; PLANNED UNIT DEVELOPMENT</b>		PROJECT NO. 24330
<b>ALAN D. &amp; NANCY E. NORRIS</b>		DATE: 01-29-2026
2798 VT ROUTE 17, STARKSBORO, VERMONT		SCALE: 1" = 200'
<b>OVERALL SUBDIVISION PLAN</b>		SURVEY: TG,AW,MD
THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW.		DRAWN: SB
<input type="checkbox"/> PRELIMINARY DRAFT <input checked="" type="checkbox"/> FINAL STATE REVIEW		CHECKED: JSB
		DRAWING NO. <b>S-1</b>
		SHEET 1 OF 9



**Project Location Map**  
Not to Scale

**LEGEND**

	BOUNDARY LINE/ R.O.W. (EXISTING)
	BOUNDARY LINE/ R.O.W. (PROPOSED)
	BOUNDARY LINE/ R.O.W. (ABUTTING)
	SIDELINE OF EASEMENT
	EDGE OF ROAD/DRIVE (SURFACE NOTED)
	100 5-FOOT LIDAR CONTOUR (OBTAINED FROM VCGI DATABASE)
	ZONING DISTRICT BOUNDARY
	BUILDING ENVELOPE
	TREE LINE
	PROPOSED LIMITS OF CLEARING
	GRAVITY SEWER (EXISTING)
	GRAVITY SEWER (PROPOSED)
	FORCE MAIN
	1-INCH DIAMETER CL200 POLYETHYLENE PLASTIC WATER LINE (UNLESS OTHERWISE NOTED)
	WELL ISOLATION
	WASTEWATER ISOLATION
	WETLAND BOUNDARY
	WETLAND BUFFER
	UNDERGROUND ELECTRICAL CONDUIT
	UNDERGROUND GAS LINE
	UTILITY POLE/ OVERHEAD WIRES
	SURVEY TRAVERSE STATION
	TEMPORARY BENCHMARK (TYPE AND ELEVATION NOTED)
	TEST PIT (TP-01)
	SOIL BORING (SB-01)
	DRILLED WELL (UNLESS OTHERWISE NOTED)



**LEGEND**

- BOUNDARY LINE/ R.O.W. (EXISTING)
- - - BOUNDARY LINE/ R.O.W. (PROPOSED)
- - - BOUNDARY LINE/ R.O.W. (ABUTTING)
- - - SIDELINE OF EASEMENT
- - - EDGE OF ROAD/DRIVE (SURFACE NOTED)
- 100- 5-FOOT LIDAR CONTOUR (OBTAINED FROM VCGI DATABASE)
- - - ZONING DISTRICT BOUNDARY
- - - BUILDING ENVELOPE
- - - TREE LINE
- - - PROPOSED LIMITS OF CLEARING
- - - GRAVITY SEWER (EXISTING)
- - - GRAVITY SEWER (PROPOSED)
- - - FORCE MAIN
- - - 1-INCH DIAMETER CL200 POLYETHYLENE PLASTIC WATER LINE (UNLESS OTHERWISE NOTED)
- - - WELL ISOLATION
- - - WASTEWATER ISOLATION
- - - WETLAND BOUNDARY
- - - WETLAND BUFFER
- - - UNDERGROUND ELECTRICAL CONDUIT
- - - UNDERGROUND GAS LINE
- - - UTILITY POLE/ OVERHEAD WIRES
- △ SURVEY TRAVERSE STATION
- TEMPORARY BENCHMARK (TYPE AND ELEVATION NOTED)
- TEST PIT (TP-01)
- SOIL BORING (SB-01)
- DRILLED WELL (UNLESS OTHERWISE NOTED)

Town of Starksboro  
RECEIVED  
03/09/2026

Exhibit M

02-19-2026	Wetland Buffer Demarcation.	SB
DATE	DESCRIPTION	BY
REVISIONS		
<b>BARNARD &amp; GERVAIS, LLC</b> Land Surveying Water & Wastewater Environmental Consulting <small>167 Main Street, P.O. Box 820 Enosburg Falls, VT 05450 Telephone: (802) 933-6168</small> <small>10523 VT Route 116, P.O. Box 133 Hinesburg, VT 05491 Telephone: (802) 482-2597</small>		
<b>PROPOSED NINE-LOT SUBDIVISION &amp; PLANNED UNIT DEVELOPMENT</b>		PROJECT NO. 24330
<b>ALAN D. &amp; NANCY E. NORRIS</b>		DATE: 01-29-2026 SCALE: 1" = 40' SURVEY: TG,AW,MD DRAWN: SB, CS CHECKED: JSB DRAWING NO. S-2
2798 VT ROUTE 17, STARKSBORO, VERMONT		THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW: <input type="checkbox"/> PRELIMINARY DRAFT <input checked="" type="checkbox"/> FINAL STATE REVIEW
<b>LOTS 1-7 SUBDIVISION PLAN</b>		
SHEET 2 OF 9		

SIGNATURE:  
**JASON S. BARNARD**  
 LICENSED DESIGNER #126179

Town of Starksboro  
**RECEIVED**  
 03/09/2026

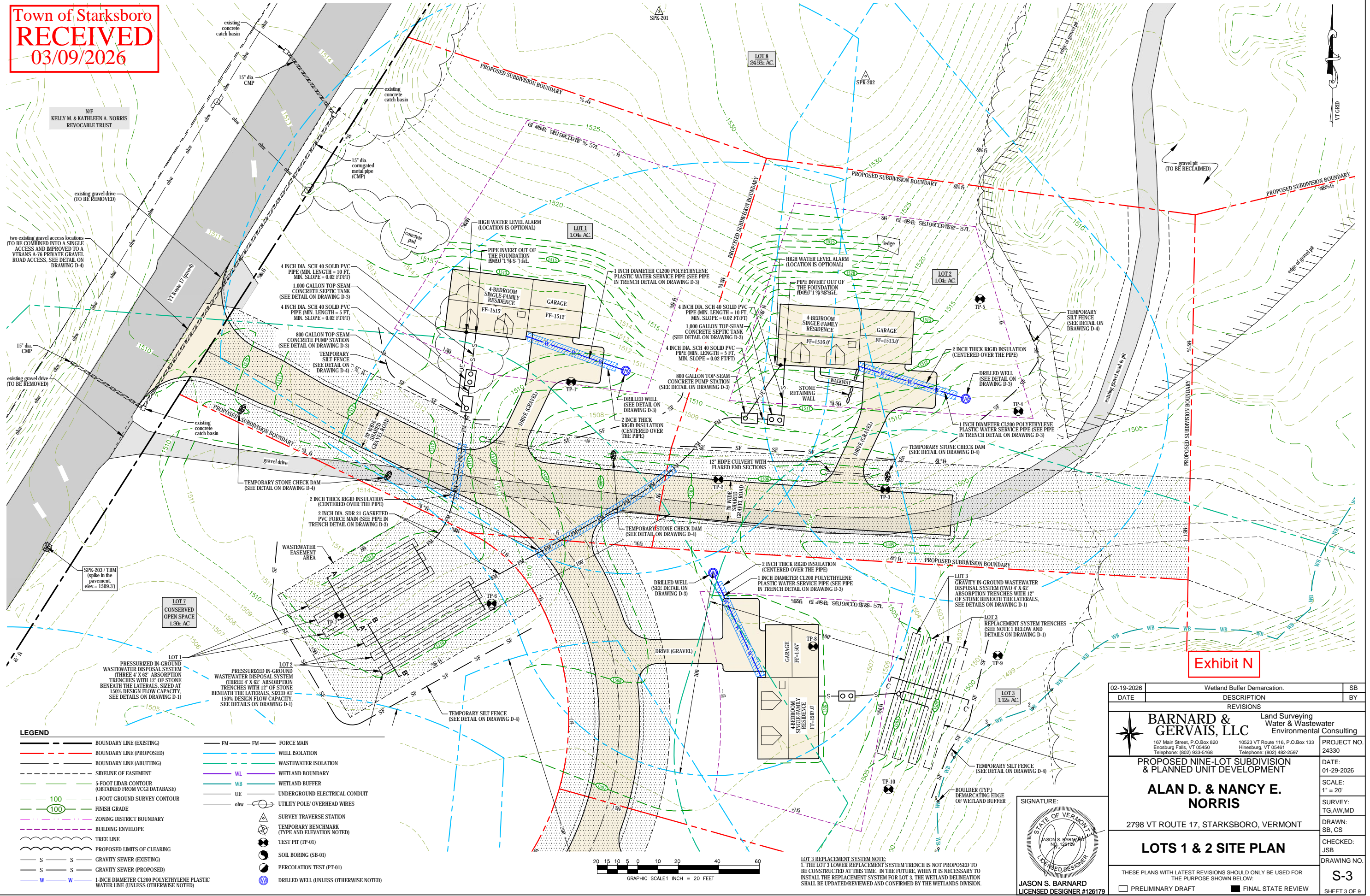
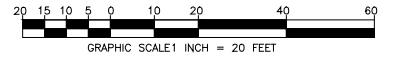


Exhibit N

**LEGEND**

—	BOUNDARY LINE (EXISTING)	FM	FM	FORCE MAIN
- - -	BOUNDARY LINE (PROPOSED)	WI	WI	WELL ISOLATION
- · - · -	BOUNDARY LINE (ABUTTING)	W	W	WASTEWATER ISOLATION
- · - · -	BOUNDARY LINE (ABUTTING)	WB	WB	WETLAND BOUNDARY
- · - · -	SIDE LINE OF EASEMENT	UE	UE	WETLAND BUFFER
- · - · -	5-FOOT LIDAR CONTOUR (OBTAINED FROM VCGI DATABASE)	ohw	ohw	UNDERGROUND ELECTRICAL CONDUIT
100	1-FOOT GROUND SURVEY CONTOUR	○	○	UTILITY POLE/OVERHEAD WIRES
100	FINISH GRADE	△	△	SURVEY TRAVERSE STATION
- · - · -	ZONING DISTRICT BOUNDARY	⊙	⊙	TEMPORARY BENCHMARK (TYPE AND ELEVATION NOTED)
- · - · -	BUILDING ENVELOPE	⊙	⊙	TEST PIT (TP-01)
- · - · -	TREE LINE	⊙	⊙	SOIL BORING (SB-01)
- · - · -	PROPOSED LIMITS OF CLEARING	⊙	⊙	PERCOLATION TEST (PT-01)
- · - · -	GRAVITY SEWER (EXISTING)	⊙	⊙	DRILLED WELL (UNLESS OTHERWISE NOTED)
- · - · -	GRAVITY SEWER (PROPOSED)			
- · - · -	1-INCH DIAMETER CL200 POLYETHYLENE PLASTIC WATER LINE (UNLESS OTHERWISE NOTED)			

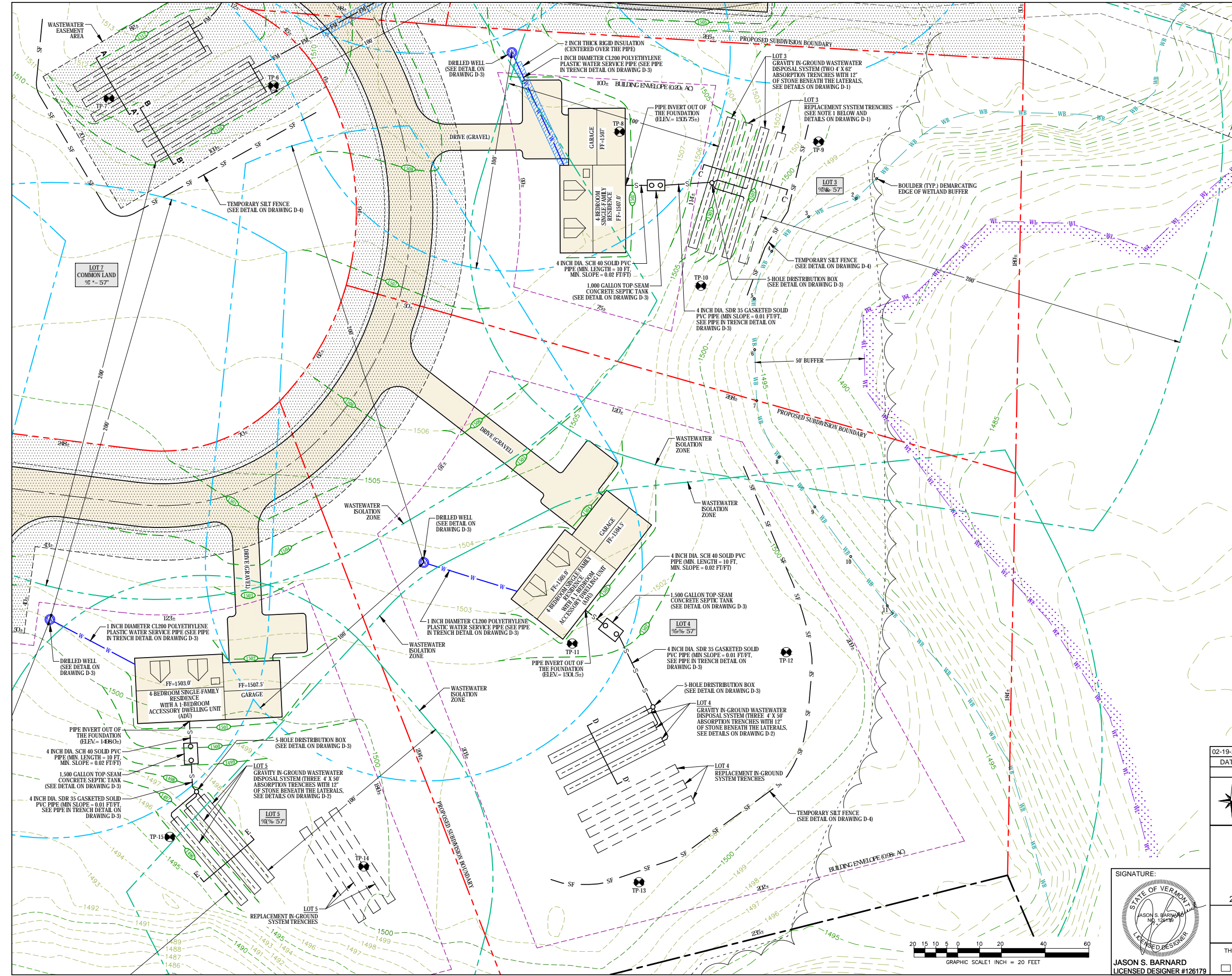


**LOT 3 REPLACEMENT SYSTEM NOTE:**  
 1. THE LOT 3 LOWER REPLACEMENT SYSTEM TRENCH IS NOT PROPOSED TO BE CONSTRUCTED AT THIS TIME. IN THE FUTURE, WHEN IT IS NECESSARY TO INSTALL THE REPLACEMENT SYSTEM FOR LOT 3, THE WETLAND DELINEATION SHALL BE UPDATED/REVIEWED AND CONFIRMED BY THE WETLANDS DIVISION.

SIGNATURE:  
  
**JASON S. BARNARD**  
 LICENSED DESIGNER #126179

02-19-2026	Wetland Buffer Demarcation.	SB
DATE	DESCRIPTION	BY
REVISIONS		
<b>PROPOSED NINE-LOT SUBDIVISION &amp; PLANNED UNIT DEVELOPMENT</b> <b>ALAN D. &amp; NANCY E. NORRIS</b> 2798 VT ROUTE 17, STARKSBORO, VERMONT		PROJECT NO. 24330 DATE: 01-29-2026 SCALE: 1" = 20' SURVEY: TG, AW, MD DRAWN: SB, CS CHECKED: JSB DRAWING NO. <b>S-3</b> SHEET 3 OF 9
THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW: <input type="checkbox"/> PRELIMINARY DRAFT <input checked="" type="checkbox"/> FINAL STATE REVIEW		

**Town of Starksboro**  
**RECEIVED**  
**03/09/2026**



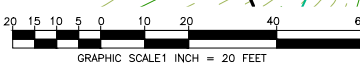
- LEGEND**
- BOUNDARY LINE/ R.O.W. (EXISTING)
  - BOUNDARY LINE/ R.O.W. (PROPOSED)
  - BOUNDARY LINE/ R.O.W. (ABUTTING)
  - SIDELINE OF EASEMENT
  - EDGE OF ROAD/DRIVE (SURFACE NOTED)
  - 100' 5-FOOT LIDAR CONTOUR (OBTAINED FROM VCGI DATABASE)
  - ZONING DISTRICT BOUNDARY
  - BUILDING ENVELOPE
  - TREE LINE
  - PROPOSED LIMITS OF CLEARING
  - S S GRAVITY SEWER (EXISTING)
  - S S GRAVITY SEWER (PROPOSED)
  - FM FM FORCE MAIN
  - W W 1-INCH DIAMETER CL200 POLYETHYLENE PLASTIC WATER LINE (UNLESS OTHERWISE NOTED)
  - WELL ISOLATION
  - WASTEWATER ISOLATION
  - WL WL WETLAND BOUNDARY
  - WB WB WETLAND BUFFER
  - UE UE UNDERGROUND ELECTRICAL CONDUIT
  - GAS UNDERGROUND GAS LINE
  - ohw ohw UTILITY POLE/ OVERHEAD WIRES
  - SURVEY TRAVERSE STATION
  - TEMPORARY BENCHMARK (TYPE AND ELEVATION NOTED)
  - TEST PIT (TP-01)
  - SOIL BORING (SB-01)
  - DRILLED WELL (UNLESS OTHERWISE NOTED)
  - BOULDER - WETLAND BUFFER DEMARCATION

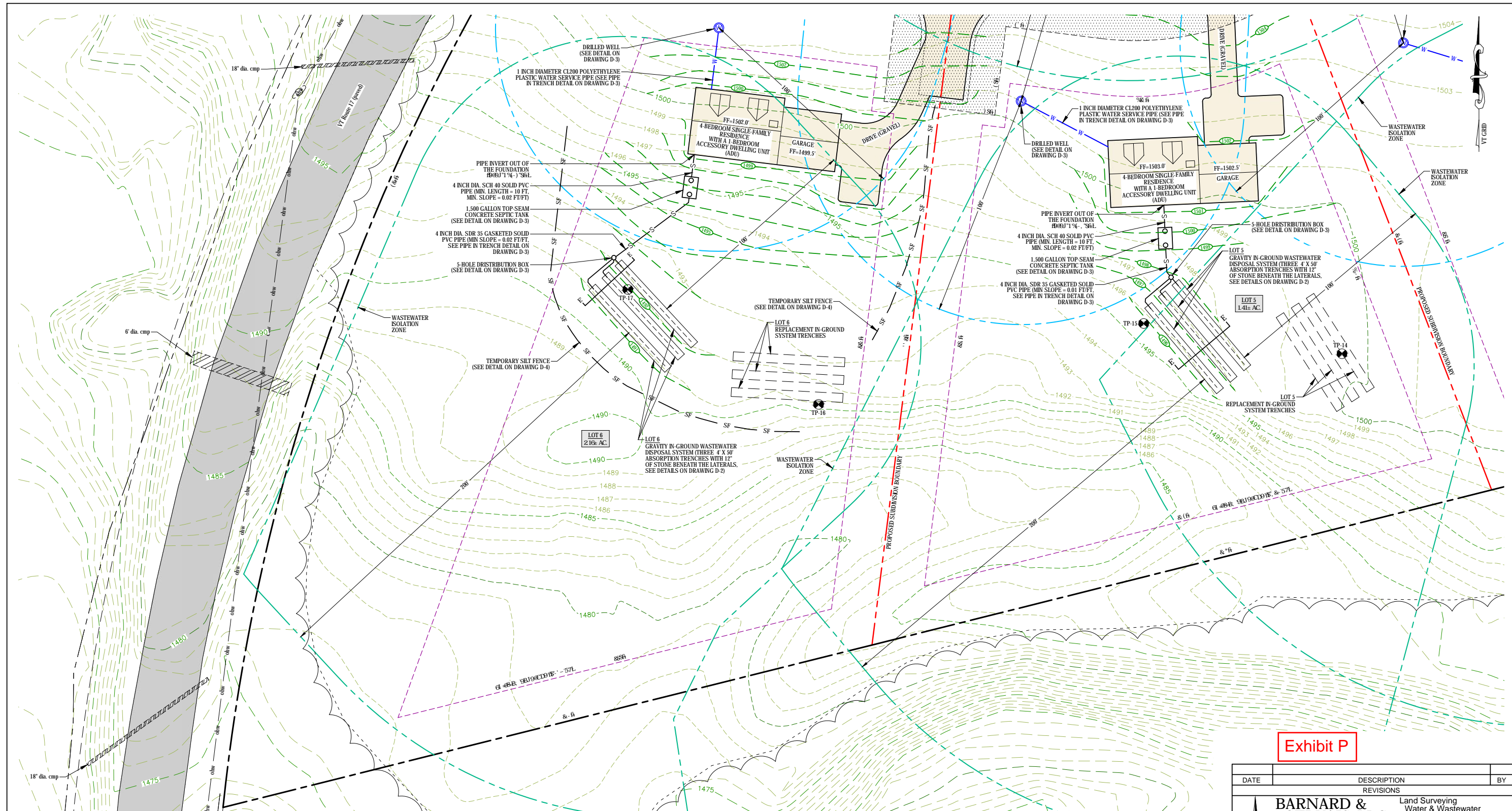
**LOT 3 REPLACEMENT SYSTEM NOTE:**  
 1. THE LOT 3 LOWER REPLACEMENT SYSTEM TRENCH IS NOT PROPOSED TO BE CONSTRUCTED AT THIS TIME. IN THE FUTURE, WHEN IT IS NECESSARY TO INSTALL THE REPLACEMENT SYSTEM FOR LOT 3, THE WETLAND DELINEATION SHALL BE UPDATED/REVIEWED AND CONFIRMED BY THE WETLANDS DIVISION.

Exhibit O

02-19-2026	Wetland Buffer Demarcation.	SB
DATE	DESCRIPTION	BY
REVISIONS		
<b>BARNARD &amp; GERVAIS, LLC</b> Land Surveying Water & Wastewater Environmental Consulting <small>167 Main Street, P.O. Box 820          Enosburg Falls, VT 05450          Telephone: (802) 933-6168</small>		
<b>PROPOSED NINE-LOT SUBDIVISION &amp; PLANNED UNIT DEVELOPMENT</b>		PROJECT NO. 24330
<b>ALAN D. &amp; NANCY E. NORRIS</b>		DATE: 01-29-2026
2798 VT ROUTE 17, STARKSBORO, VERMONT		SCALE: 1" = 20'
<b>LOTS 3 &amp; 4 SITE PLAN</b>		SURVEY: TG,AW,MD
THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW:		DRAWN: SB, CS
<input type="checkbox"/> PRELIMINARY DRAFT <input checked="" type="checkbox"/> FINAL STATE REVIEW		CHECKED: JSB
		DRAWING NO. <b>S-4</b>
		SHEET 4 OF 9

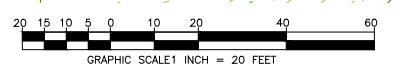
SIGNATURE:  
  
**JASON S. BARNARD**  
 LICENSED DESIGNER #126179





**LEGEND**

	BOUNDARY LINE (EXISTING)		FM	FM	FORCE MAIN
	BOUNDARY LINE (PROPOSED)				WELL ISOLATION
	BOUNDARY LINE (ABUTTING)				WASTEWATER ISOLATION
	TOWN LINE				WETLAND BOUNDARY
	SIDELINE OF EASEMENT				WETLAND BUFFER
	5-FOOT LIDAR CONTOUR (OBTAINED FROM VCGI DATABASE)				UNDERGROUND ELECTRICAL CONDUIT
	ZONING DISTRICT BOUNDARY				UTILITY POLE / OVERHEAD WIRES
	PROPOSED LIMITS OF CLEARING				SURVEY TRAVERSE STATION
	TREE LINE				TEMPORARY BENCHMARK (TYPE AND ELEVATION NOTED)
	GRAVITY SEWER (EXISTING)				TEST PIT (TP-01)
	GRAVITY SEWER (PROPOSED)				SOIL BORING (SB-01)
	1-INCH DIAMETER CL200 POLYETHYLENE PLASTIC WATER LINE (UNLESS OTHERWISE NOTED)				PERCOLATION TEST (PT-01)
					DRILLED WELL (UNLESS OTHERWISE NOTED)

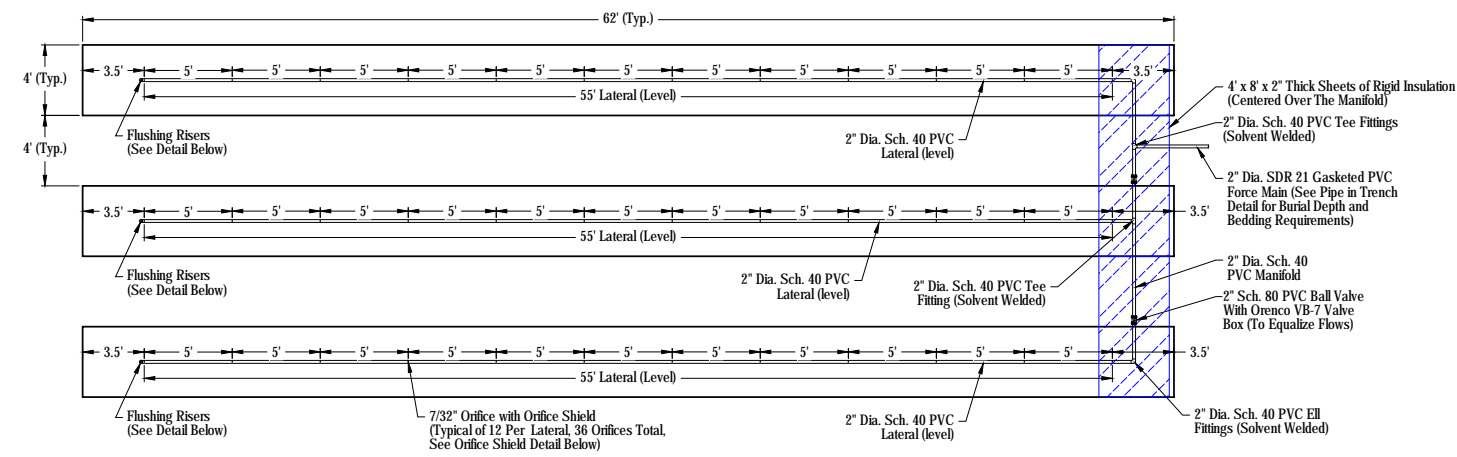


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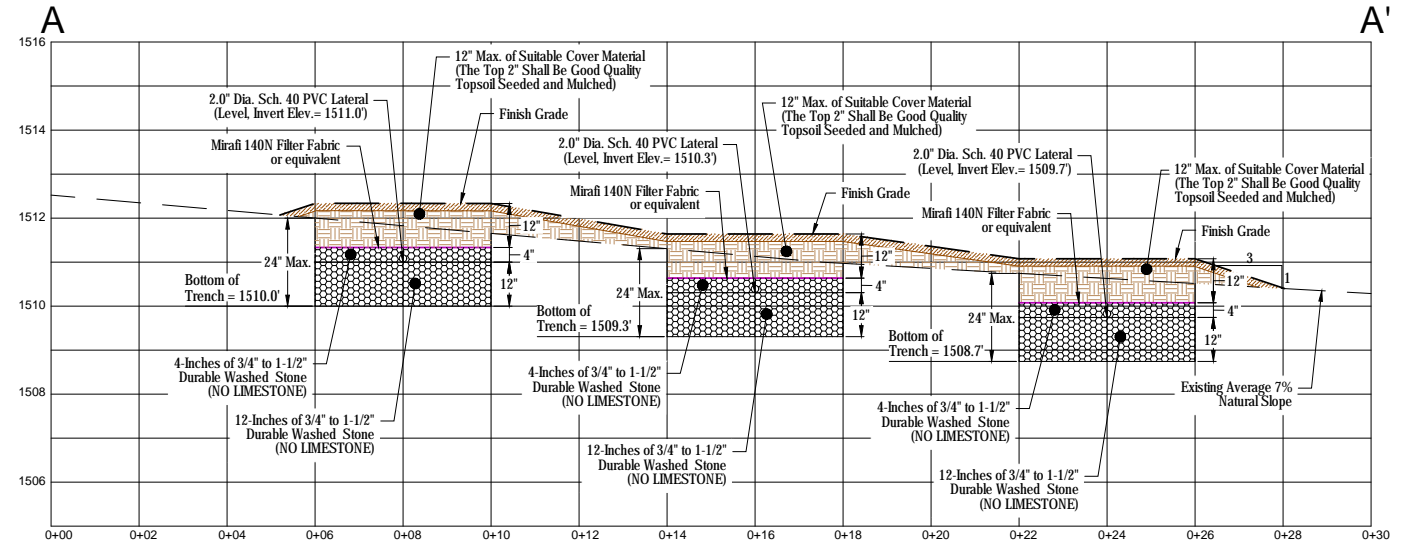
SIGNATURE:  
  
**JASON S. BARNARD**  
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Exhibit P

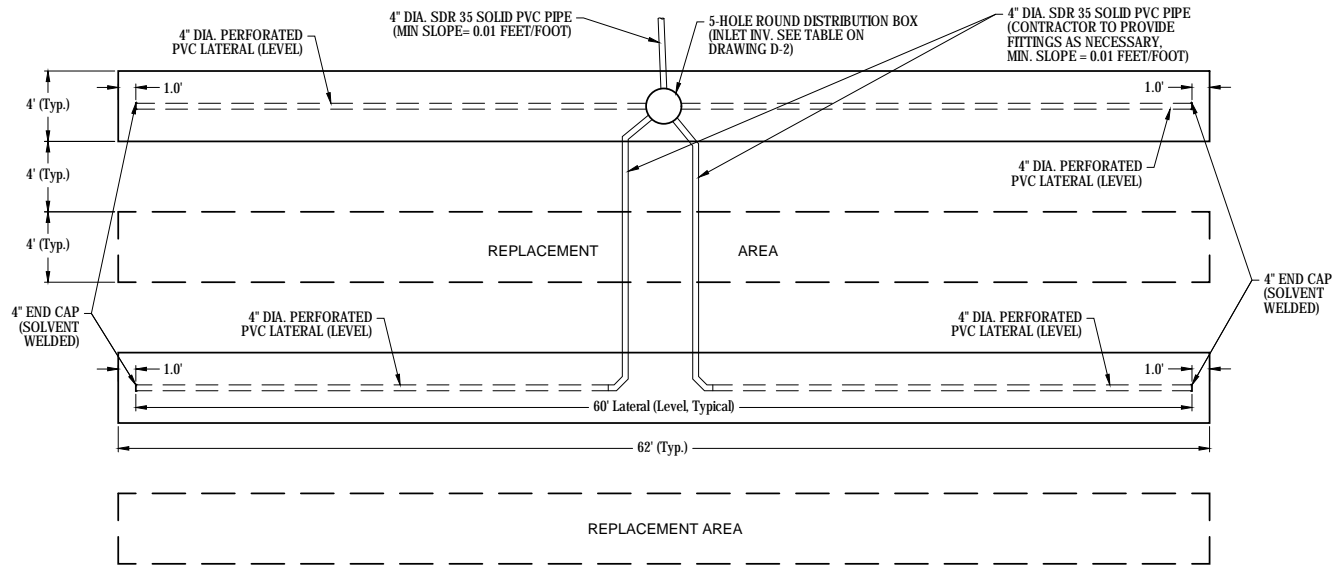
DATE	DESCRIPTION	BY
REVISIONS		
<b>BARNARD &amp; GERVAIS, LLC</b> Land Surveying Water & Wastewater Environmental Consulting <small>167 Main Street, P.O. Box 820          Enosburg Falls, VT 05450          Telephone: (802) 933-6188</small>		
<b>PROPOSED NINE-LOT SUBDIVISION &amp; PLANNED UNIT DEVELOPMENT</b>		PROJECT NO. 24330
<b>ALAN D. &amp; NANCY E. NORRIS</b>		DATE: 01-29-2026
2798 VT ROUTE 17, STARKSBORO, VERMONT		SCALE: 1" = 20'
<b>LOTS 5 &amp; 6 SITE PLAN</b>		SURVEY: TG,AW,MD
THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW:		DRAWN: SB, CS
<input type="checkbox"/> PRELIMINARY DRAFT <input checked="" type="checkbox"/> FINAL STATE REVIEW		CHECKED: JSB
		DRAWING NO. <b>S-5</b>
		SHEET 6 OF 9



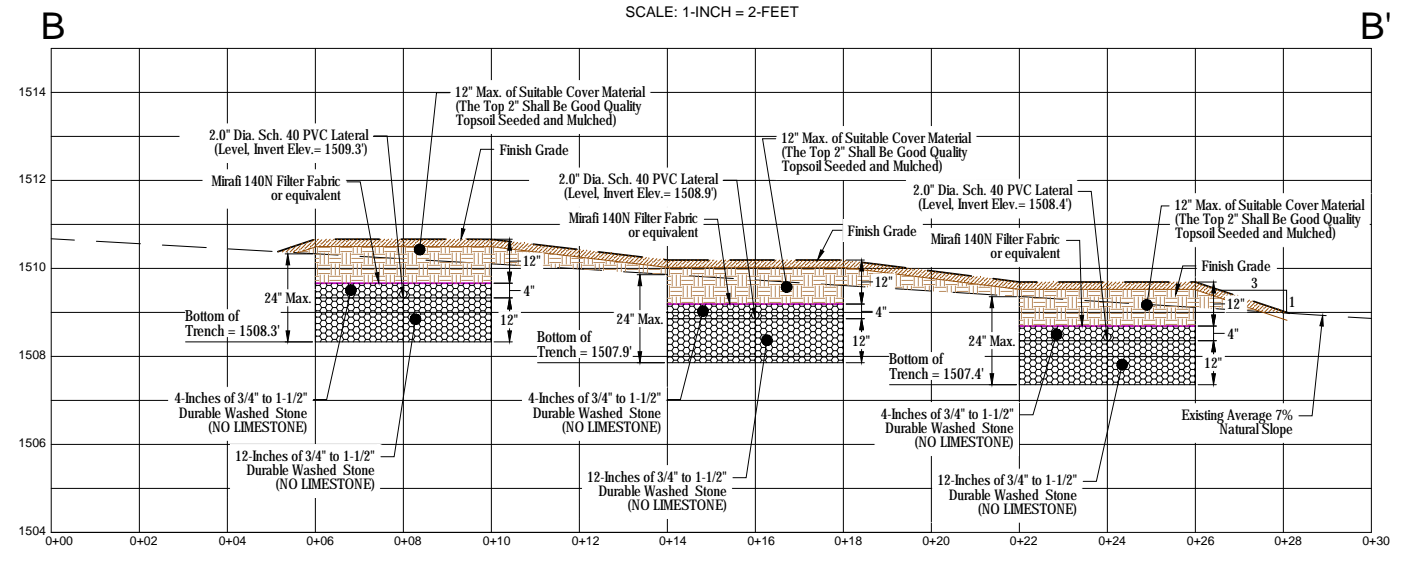
**LOTS 1 & 2 PRESSURIZED IN-GROUND WASTEWATER DISPOSAL SYSTEM PLAN VIEW DETAIL**  
SCALE: 1-INCH = 5- FEET



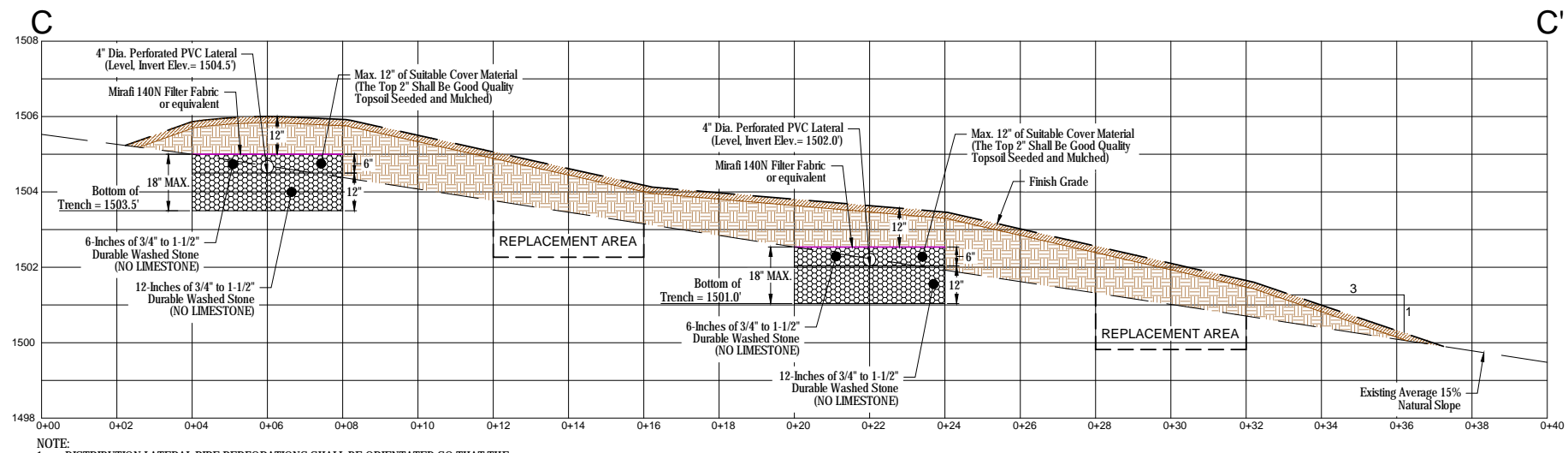
**LOT 1 - PRESSURIZED IN-GROUND WASTEWATER DISPOSAL SYSTEM SECTION DETAIL**  
SCALE: 1-INCH = 2- FEET



**LOT 3 - GRAVITY-FED IN-GROUND WASTEWATER DISPOSAL SYSTEM PLAN VIEW DETAIL**  
SCALE: 1-INCH = 5- FEET

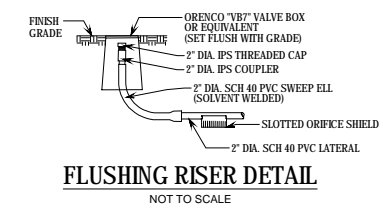


**LOT 2 - PRESSURIZED IN-GROUND WASTEWATER DISPOSAL SYSTEM SECTION DETAIL**  
SCALE: 1-INCH = 2- FEET

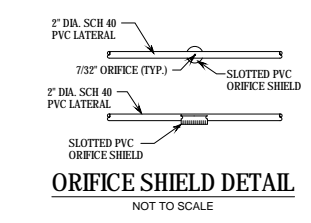


**LOT 3 - GRAVITY IN-GROUND WASTEWATER DISPOSAL SYSTEM SECTION**  
SCALE: 1-INCH = 2- FEET

NOTE:  
1. DISTRIBUTION LATERAL PIPE PERFORATIONS SHALL BE ORIENTATED SO THAT THE HOLES ARE AT 4 O'CLOCK AND 8 O'CLOCK WITH THE PIPE INVERT AT 6 O'CLOCK.



**FLUSHING RISER DETAIL**  
NOT TO SCALE



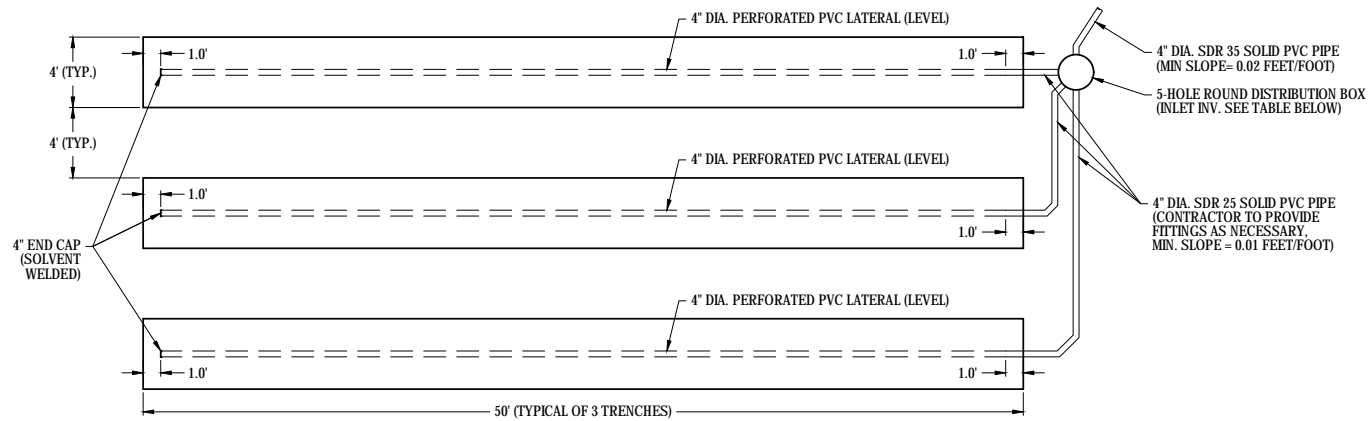
**ORIFICE SHIELD DETAIL**  
NOT TO SCALE

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03/09/2026

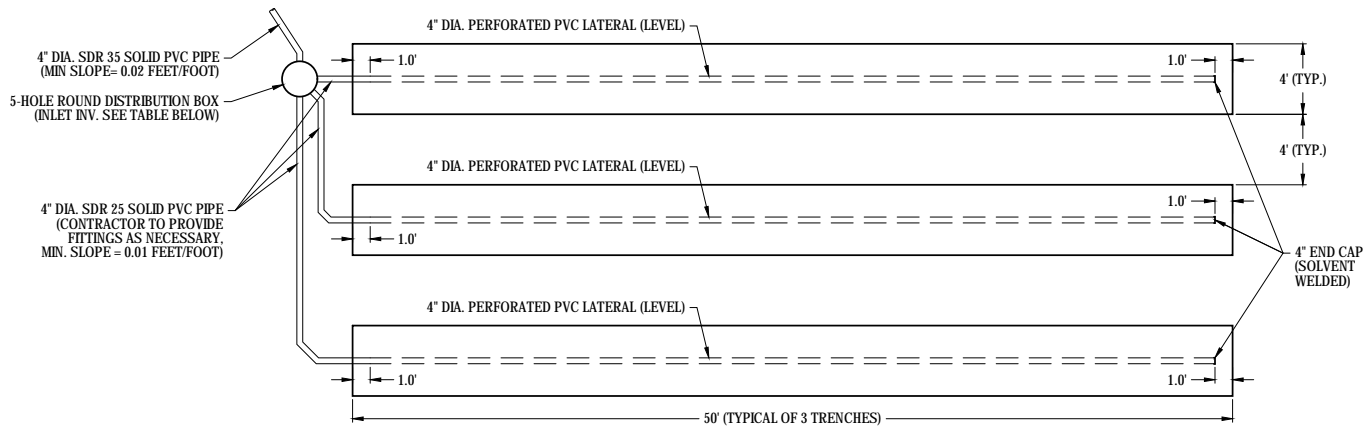
Exhibit Q

DATE	DESCRIPTION	BY
REVISIONS		
<b>BARNARD &amp; GERVAIS, LLC</b> Land Surveying Water & Wastewater Environmental Consulting 167 Main Street, P.O. Box 820, Enosburg Falls, VT 05450 Telephone: (802) 933-6188		
<b>PROPOSED NINE-LOT SUBDIVISION &amp; PLANNED UNIT DEVELOPMENT</b>		PROJECT NO. 24330
<b>ALAN D. &amp; NANCY E. NORRIS</b>		DATE: 01-20-2026
2798 VT ROUTE 17, STARKSBORO, VERMONT		SCALE: AS NOTED
<b>LOTS 1, 2 &amp; 3 WASTEWATER SYSTEM DETAILS</b>		SURVEY: TG,AW,MD
THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW.		DRAWN: CS
<input type="checkbox"/> PRELIMINARY DRAFT	<input checked="" type="checkbox"/> FINAL STATE REVIEW	CHECKED: JSB
		DRAWING NO. D-1
		SHEET 6 OF 9



**LOT 4 - GRAVITY IN-GROUND WASTEWATER DISPOSAL SYSTEM PLAN VIEW DETAIL**

SCALE: 1-INCH = 5-FEET



**LOTS 5 & 6 - GRAVITY IN-GROUND WASTEWATER DISPOSAL SYSTEM PLAN VIEW DETAIL**

SCALE: 1-INCH = 5-FEET

**FORCE MAIN PRESSURE AND LEAKAGE TESTING:**

IN ACCORDANCE WITH § 1-1009 OF THE CURRENT EPR:

(b) UPON COMPLETION OF CONSTRUCTION OF A FORCE MAIN, THE FORCE MAIN SHALL BE PRESSURE AND LEAKAGE TESTED TO ENSURE THERE ARE NO LEAKS.

(1) PRESSURE TEST  
(a) ALL NEWLY LAID PIPE OR ANY VALVED SECTION THEREOF SHALL BE SUBJECTED TO A HYDROSTATIC PRESSURE OF AT LEAST 1.5 TIMES THE HIGHEST WORKING PRESSURE IN THE SECTION IN ACCORDANCE WITH THE FOLLOWING PROCEDURE:

(i) TEST PRESSURES SHALL:  
(ii) NOT BE LESS THAN 50 POUNDS PER SQUARE INCH AT THE HIGHEST POINT ALONG THE TEST SECTION;  
(iii) NOT EXCEED PIPE OR TRUST RESTRAINT DESIGN PRESSURES;  
(iv) BE OF AT LEAST 2-HOUR DURATION;  
(v) NOT VARY BY MORE THAN 5 POUNDS PER SQUARE INCH; AND  
(vi) NOT EXCEED TWICE THE RATED PRESSURE OF THE VALVES WHEN THE PRESSURE BOUNDARY OF THE TEST SECTION INCLUDES CLOSED GATE VALVES.

(b) EACH VALVED SECTION OF PIPE SHALL BE FILLED WITH WATER SLOWLY AND THE SPECIFIED TEST PRESSURE, BASED ON THE ELEVATION OF THE LOWEST POINT OF THE LINE OR SECTION UNDER TEST AND CORRECTED TO TEST GAUGE, SHALL BE APPLIED BY MEANS OF A PUMP CONNECTED TO THE PIPE.  
(c) BEFORE APPLYING THE SPECIFIED TEST PRESSURE, AIR SHALL BE EXPELLED COMPLETELY FROM THE PIPE AND VALVES.  
(d) ALL EXPOSED PIPE, FITTINGS, VALVES, AND JOINTS SHALL BE EXAMINED CAREFULLY DURING THE TEST. ANY DAMAGED OR DEFECTIVE PIPE, FITTINGS, OR VALVES THAT ARE DISCOVERED FOLLOWING THE PRESSURE TEST SHALL BE REPAIRED OR REPLACED WITH SOUND MATERIAL AND THE TEST SHALL BE REPEATED.

(2) LEAKAGE TEST  
(a) LEAKAGE TEST SHALL BE CONDUCTED CONCURRENTLY WITH THE PRESSURE TEST.  
(b) LEAKAGE SHALL BE DETERMINED BY THE QUANTITY OF WATER THAT MUST BE SUPPLIED INTO THE NEWLY LAID PIPE, OR ANY VALVED SECTION THEREOF, TO MAINTAIN PRESSURE WITHIN 5 POUNDS PER SQUARE INCH OF THE SPECIFIED TEST PRESSURE AFTER THE AIR IN THE PIPELINE HAS BEEN EXPELLED AND THE PIPE HAS BEEN FILLED.  
(c) NO PIPE INSTALLATION WILL BE ACCEPTED IF THE LEAKAGE IS GREATER THAN THAT DETERMINED BY THE FOLLOWING FORMULA:

$$L = 0.4(N)(P) = 7400$$

WHERE:

L IS THE ALLOWABLE LEAKAGE, IN GALLONS PER HOUR;  
N IS THE NUMBER OF JOINTS IN THE LENGTH OF PIPELINE TESTED;  
D IS THE NOMINAL DIAMETER OF THE PIPE, IN INCHES; AND  
P IS THE AVERAGE TEST PRESSURE DURING THE LEAKAGE TEST, IN POUNDS PER SQUARE INCH GAUGE.

(c) FORCE MAINS SHALL BE COVERED WITH SUFFICIENT EARTH OR OTHER INSULATION TO PREVENT FREEZING.

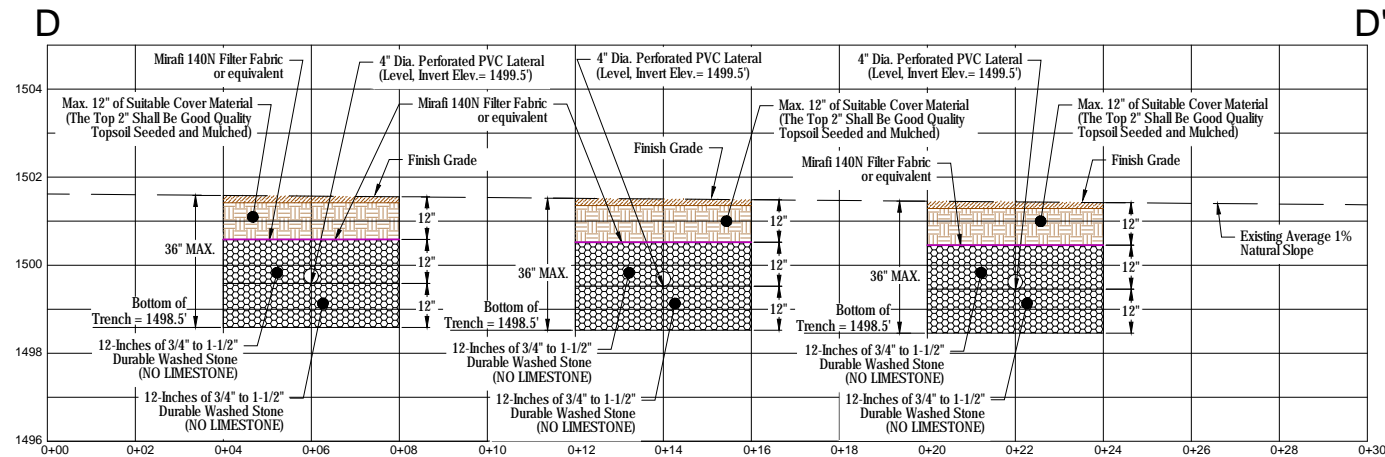
**WASTEWATER DISPOSAL SYSTEM CONSTRUCTION AND MAINTENANCE NOTES**

- THE PRESSURIZED IN-GROUND WASTEWATER SYSTEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STATE OF VERMONT, AGENCY OF NATURAL RESOURCES, ENVIRONMENTAL PROTECTION RULES, CHAPTER 1, WASTEWATER SYSTEM AND POTABLE WATER SUPPLY RULES.
- THE PRESSURIZED IN-GROUND WASTEWATER DISPOSAL SYSTEM LOCATION SHALL BE STAKED OUT BY THE DESIGNER PRIOR TO START OF CONSTRUCTION.
- THE DESIGNER SHALL BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE FOR INSPECTIONS OF THE SEPTIC TANK, PUMP STATION AND PREPARATION OF THE ABSORPTION TRENCHES PRIOR TO PLACING THE SYSTEM STONE AND PRIOR TO FINAL COVERING OF THE WASTEWATER SYSTEM.
- THE DESIGNER SHALL BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE FOR A PRESSURE TEST OF THE IN-GROUND SYSTEM PRESSURE DISTRIBUTION NETWORK.
- THE CONTRACTOR SHALL ADHERE TO VERMONT OCCUPATIONAL HEALTH AND A SAFETY GUIDELINES FOR EXCAVATING AND TRENCH EXCAVATIONS.
- SEPTIC TANK EFFLUENT FILTER SHOULD BE REMOVED AND RINSED BACK INTO THE SEPTIC TANK ONCE A YEAR.
- THE SEPTIC TANK AND PUMP STATION SHALL BE INSPECTED ANNUALLY AND PUMPED OUT AT LEAST EVERY THREE (3) YEARS OR AS NECESSARY TO PREVENT SOLIDS FROM CARRYING OVER TO THE DISPOSAL SYSTEMS.
- FOLLOWING THE PRESSURIZED IN-GROUND WASTEWATER SYSTEM INSTALLATION, FINISH GRADE SHALL BE SEEDED AND MULCHED WITH A CONSERVATION GRASS SEED MIX.
- WATER SOFTENER BACKWASH, SEPTIC TANK ADDITIVES, GREASE OR SANITIZERS SHALL NOT BE INTRODUCED INTO THE WASTEWATER DISPOSAL SYSTEM.

**GRAVITY & PRESSURIZED IN-GROUND CONSTRUCTION INSTRUCTIONS:**

IN-GROUND CONSTRUCTION PROCEDURES ARE JUST AS IMPORTANT AS THE IN-GROUND DESIGN. GOOD DESIGN WITH POOR CONSTRUCTION WILL RESULT IN THE IN-GROUND OPERATING POORLY AND MAY RESULT IN FAILURE. PROPER EQUIPMENT IS ESSENTIAL. SMALL TRACK TYPE EXCAVATORS WORK BEST. WHEEL TYPE TRACTORS ARE TOO DIFFICULT TO MANUEVER IN THE FILL. THE FOLLOWING IS A STEP BY STEP PROCEDURE FOR IN-GROUND CONSTRUCTION WHICH HAS BEEN TRIED AND PROVEN. OTHER TECHNIQUES COULD BE USED AS LONG AS THE BASIC PRINCIPLES OF IN-GROUND DESIGN, OPERATION, AND CONSTRUCTION ARE NOT VIOLATED.

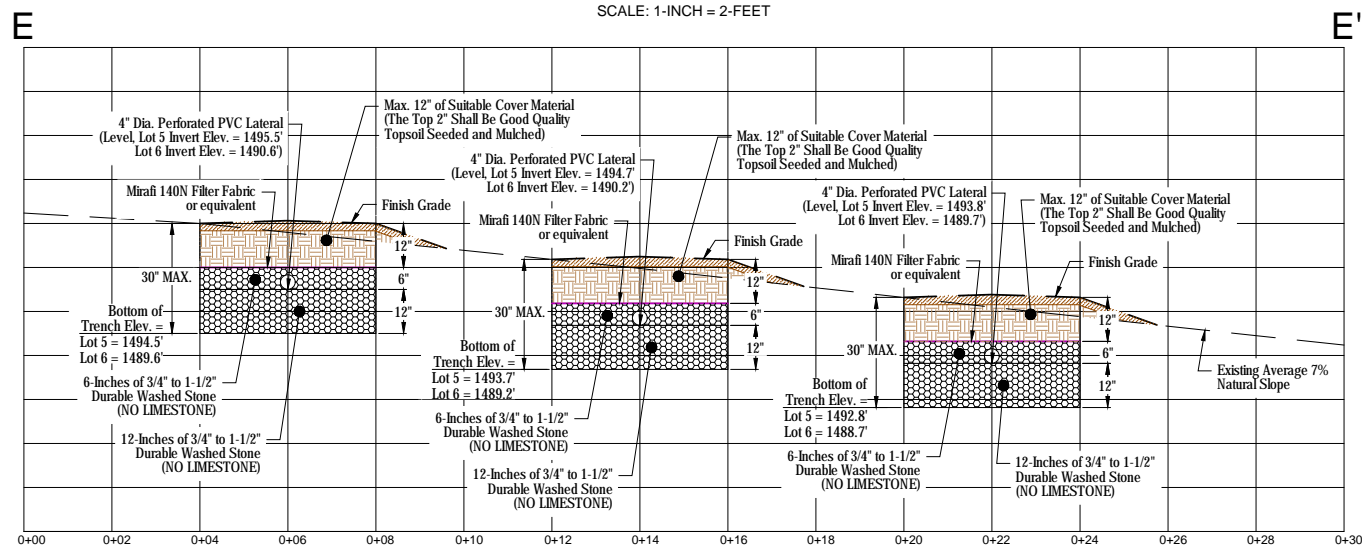
- STAKE OUT THE TRENCH LOCATIONS ON THIS SITE SO THAT THE TRENCHES RUN PERPENDICULAR TO THE DIRECTION OF THE SLOPE. REFERENCE STAKES ARE RECOMMENDED IN CASE CORNER STAKES ARE DISTURBED.
- GRAVITY-FED: STAKE OUT THE LOCATION OF THE DISTRIBUTION BOX (D-BOX) AND DETERMINE THE INLET ELEVATION WHERE THE GRAVITY SEWER PIPE CONNECTS FROM THE SEPTIC TANK. PRESSURIZED: DETERMINE WHERE THE FORCE MAIN FROM THE PUMP CHAMBER CONNECTS TO THE DISTRIBUTION SYSTEM IN THE TRENCHES.
- GRAVITY-FED: TRENCH AND LAY THE GRAVITY SEWER PIPE FROM THE SEPTIC TANK TO THE D-BOX. PRESSURIZED: TRENCH AND LAY THE FORCE MAIN FROM THE PUMP CHAMBER TO THE SYSTEM TRENCHES. LAY THE PIPE 55 BELCAVITE GROUND SURFACE FOR FROST PROTECTION. WHERE THERE IS LESS THAN 55% OF COVER, INSULATE WITH 2" OF RIGID POLYSTYRENE INSULATION 4 WIDE (2 EITHER SIDE OF PIPE, PLACED IN TWO 1" LAYERS WITH STAGGERED JOINTS). ALTERNATIVELY, WHERE THERE IS LESS THAN 55% OF SOIL COVER, THE FORCE MAIN CAN BE SLOPED UNIFORMLY BACK TO THE PUMPING CHAMBER SO THAT IT DRAINS AFTER EACH DOSING. CUT AND CAP THE PIPE ONE FOOT BENEATH THE GROUND SURFACE. BACKFILL AND COMPACT SOIL AROUND THE PIPE TO PREVENT BACK SEEPAGE OF EFFLUENT ALONG PIPE. THIS STEP MUST BE DONE BEFORE PLOWING TO AVOID COMPACTING AND DISTURBANCE OF SURFACE.
- INSTALL THE CURTAIN DRAIN (IF SHOWN ON PLANS).
- CHECK THE MOISTURE CONTENT OF THE SOIL AT 7 - 8 INCHES DEEP. IF IT IS TOO WET, SMEARING AND COMPACTION WILL RESULT, THUS REDUCING THE INFILTRATION CAPACITY OF THE SOIL. SOIL MOISTURE CAN BE DETERMINED BY ROLLING A SOIL SAMPLE BETWEEN THE HANDS. IF IT ROLLS INTO A RIBBON, THE SITE IS TOO WET TO PREPARE. IF IT CRUMBLES, SOIL PREPARATION CAN PROCEED.
- PREPARE THE SITE BY CUTTING TREES TO GROUND LEVEL AND REMOVE EXCESS VEGETATION BY MOWING.
- WITH THE BLADE OF A SMALL TRACK TYPE TRACTOR FORM THE TRENCHES. HAND LEVEL THE BOTTOM OF THE TRENCHES. MAKE SURE BOTTOM IS AT THE SAME ELEVATION AND LEVEL.
- PLACE THE COARSE AGGREGATE IN THE TRENCHES. IT SHOULD BE 3/4 TO 1 1/2 INCH WASHED DURABLE AGGREGATE (I.E. NOT LIMESTONE OR MARBLE). LEVEL AGGREGATE TO THE DESIGN DEPTH.
- PLACE THE DISTRIBUTION SYSTEM ON THE AGGREGATE. GRAVITY FED: CONNECT THE SEWER PIPE AND LATERALS TO THE DISTRIBUTION BOX. SLOPE MANIFOLD SLIGHTLY TOWARD DISTRIBUTION LATERALS. LAY LATERALS LEVEL, REMOVING RISERS AND DIPS. PLACE ORIFICES DOWNWARD AT 4 O'CLOCK AND 8 O'CLOCK POSITIONS WITH THE BOTTOM OF THE LATERAL PIPE(S) AT 6 O'CLOCK. PRESSURIZED: CONNECT THE MANIFOLD TO THE FORCE MAIN FROM THE PUMP CHAMBER OR SIPHON CHAMBER. SLOPE MANIFOLD SLIGHTLY TOWARD DISTRIBUTION LATERALS. LAY LATERALS LEVEL, REMOVING RISERS AND DIPS. PLACE ORIFICES UPWARDS UNTIL PRESSURE TESTING IS COMPLETE. INSPECTION REQUIRED AT THIS POINT TO OBSERVE DISCHARGE RATE AND PRESSURE TESTING.
- PRESSURIZED: ROTATE ORIFICES DOWNWARD AND PROPERLY CEMENT ALL COMPONENTS. PLACE 2 INCHES OF AGGREGATE OVER THE DISTRIBUTION PIPE.
- PLACE A SYNTHETIC NON-WOVEN FILTER FABRIC (MIRAFI 140N OR EQUIVALENT) OVER THE ENTIRE STONE TRENCH. OVERLAP JOINTS BY 12" MINIMUM. PRESSURIZED: PLACE AN 8'X8' MAT OF RIGID POLYSTYRENE INSULATION, 2 INCHES THICK, CENTERED OVER FORCE MAIN RISER. PLACE INSULATION IN TWO LAYERS (1" EACH) AND STAGGER THE JOINT PATTERN.
- PLACE SOIL ON TOP OF THE TRENCH TO A DEPTH OF 1 FOOT (12 INCHES) IN CENTER OF TRENCHES. THIS MAY BE A SUBSOIL OR TOPSOIL. THE TOP 2 INCHES SHALL BE A GOOD QUALITY TOPSOIL. INSPECTION REQUIRED AT THIS POINT.
- LANDSCAPE THE LEACHFIELD AREA BY PLANTING GRASS, USING THE BEST VEGETATION ADAPTABLE TO THE AREA. A MIXTURE OF 90% BIRDSFOOT TREFLOIL AND 10% TIMOTHY MAY BE DESIRABLE IF THE MOUND IS NOT MANICURED. IF MANICURING IS DESIRED, A COMBINATION OF 60% BLUEGRASS, 30% CREEPING RED FESCUE AND 10% ANNUAL RYE GRASS MAY BE THE DESIRED VEGETATIVE COVER. KEEP ALL TREES AND SHRUBS AWAY FROM THE TOP OF THE LEACHFIELD, AS ROOT SYSTEMS CAN DESTROY THE DISTRIBUTION NETWORK.
- WASTEWATER SYSTEM MAINTENANCE INVOLVES PUMPING THE SEPTIC TANK AND PUMP CHAMBER EVERY 1 TO 3 YEARS TO AVOID CARRYOVER OF SOLIDS INTO THE DISPOSAL SYSTEM. A GOOD WATER CONSERVATION PLAN WITHIN THE HOUSE ASSURES THAT THE DISPOSAL SYSTEM WILL NOT BE OVERLOADED. AVOID EXCESS TRAFFIC ON THE LEACHFIELD AREA. WINTER TRAFFIC ON THE LEACHFIELD SHOULD BE AVOIDED TO MINIMIZE THE FROST PENETRATION. INSPECT PUMP CHAMBER AND SEPTIC TANK EACH YEAR TO DETERMINE THE LEVEL OF SLUDGE ACCUMULATION.



**LOT 4 - GRAVITY IN-GROUND WASTEWATER DISPOSAL SYSTEM SECTION**

SCALE: 1-INCH = 2-FEET

NOTE:  
1. DISTRIBUTION LATERAL PIPE PERFORATIONS SHALL BE ORIENTATED SO THAT THE HOLES ARE AT 4 O'CLOCK AND 8 O'CLOCK WITH THE PIPE INVERT AT 6 O'CLOCK.



**LOTS 5 & 6 - GRAVITY IN-GROUND WASTEWATER DISPOSAL SYSTEM SECTION**

SCALE: 1-INCH = 2-FEET

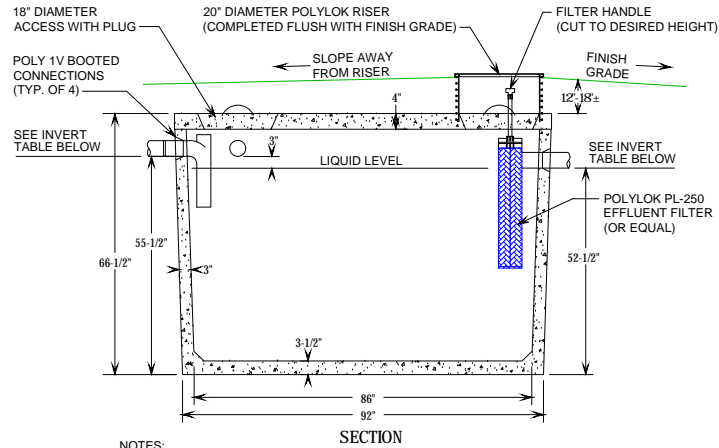
NOTE:  
1. DISTRIBUTION LATERAL PIPE PERFORATIONS SHALL BE ORIENTATED SO THAT THE HOLES ARE AT 4 O'CLOCK AND 8 O'CLOCK WITH THE PIPE INVERT AT 6 O'CLOCK.

Town of Starksboro  
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03/09/2026

Exhibit R

SIGNATURE:  
  
JASON S. BARNARD  
LICENSED DESIGNER #126179

DATE	DESCRIPTION	BY
REVISIONS		
<b>BARNARD &amp; GERVAIS, LLC</b> 167 Main Street, P.O. Box 820 Enosburg Falls, VT 05450 Telephone: (802) 933-6188		Land Surveying Water & Wastewater Environmental Consulting PROJECT NO. 24330
<b>PROPOSED NINE-LOT SUBDIVISION &amp; PLANNED UNIT DEVELOPMENT</b>		DATE: 01-20-2026
<b>ALAN D. &amp; NANCY E. NORRIS</b>		SCALE: AS NOTED
2798 VT ROUTE 17, STARKSBORO, VERMONT		SURVEY: TG,AW,MD
<b>LOTS 4, 5 &amp; 6 WASTEWATER SYSTEM DETAILS AND NOTES</b>		DRAWN: CS
THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW.		CHECKED: JSB
<input type="checkbox"/> PRELIMINARY DRAFT <input checked="" type="checkbox"/> FINAL STATE REVIEW		DRAWING NO. <b>D-2</b>
		SHEET 7 OF 9



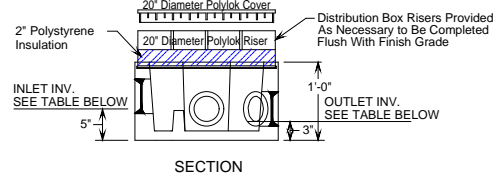
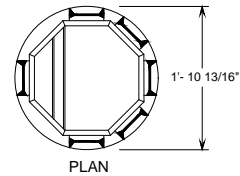
- NOTES:**
- SEPTIC TANK SHALL BE SET LEVEL ON A MINIMUM OF SIX INCHES OF COMPACTED GRANULAR BASE.
  - AN INLET TEE Baffle IS REQUIRED.
  - IF WATER-PROOF BOOTED CONNECTIONS ARE NOT USED, ALL PIPE PENETRATIONS SHALL BE SEALED WITH A "WATER PLUG" NON-SHRINK HYDRAULIC CEMENT.
  - EFFLUENT FILTER ACCESS SHALL BE COMPLETED FLUSH WITH FINISH GRADE.

**LOTS 1, 2 & 3 - 1,000 GALLON TOP-SEAM CONCRETE SEPTIC TANK**

NOT TO SCALE

**SEPTIC TANK INVERT SCHEDULE**

LOT	PIPE INVERT OUT OF THE FOUNDATION	SEPTIC TANK INLET INVERT	SEPTIC TANK OUTLET INVERT
LOT 1	1509.5±	1509.0±	1508.75±
LOT 2	1510.0±	1509.0±	1508.75±
LOT 3	1505.75±	1505.25±	1505.0±



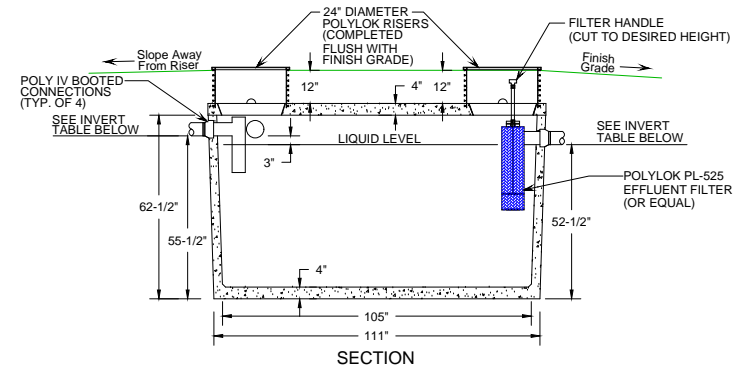
- NOTES:**
- DISTRIBUTION BOX TO BE SET ON 6" OF GRANULAR BASE.
  - FLOW EQUALIZERS ARE REQUIRED.
  - D-BOX AND FLOW EQUALIZERS SHALL BE WATER LEVELED.
  - ALL PIPE PENETRATIONS SHALL BE SEALED WITH A "WATER PLUG" NON-SHRINK HYDRAULIC CEMENT.
  - DISTRIBUTION BOX ACCESS COVER SHALL BE COMPLETED FLUSH WITH FINISH GRADE.

**LOTS 3, 4, 5 & 6 - 5-OUTLET ROUND CONCRETE DISTRIBUTION BOX**

NOT TO SCALE

**D-BOX INVERT SCHEDULE**

LOT	INLET INVERT ELEVATION	OUTLET INVERT ELEVATION
LOT 3	1504.7±	1504.5±
LOT 4	1499.7±	1499.5±
LOT 5	1496.0±	1495.8±
LOT 6	1491.0±	1490.8±



- NOTES:**
- SEPTIC TANK SHALL BE SET LEVEL ON A MINIMUM OF SIX INCHES OF COMPACTED GRANULAR BASE.
  - AN INLET TEE Baffle IS REQUIRED.
  - IF WATER-PROOF BOOTED CONNECTIONS ARE NOT USED, ALL PIPE PENETRATIONS SHALL BE SEALED WITH A "WATER PLUG" NON-SHRINK HYDRAULIC CEMENT.
  - EFFLUENT FILTER ACCESS SHALL BE COMPLETED FLUSH WITH FINISH GRADE.

**LOTS 4, 5 & 6 - 1,500 GALLON TOP SEAM CONCRETE SEPTIC TANK**

NOT TO SCALE

**SEPTIC TANK INVERT SCHEDULE**

LOT	PIPE INVERT OUT OF THE FOUNDATION	INLET INVERT ELEVATION	OUTLET INVERT ELEVATION
LOT 4	1501.5±	1501.0±	1500.75±
LOT 5	1498.0±	1497.25±	1497.0±
LOT 6	1495.0±	1494.25±	1494.0±

**DRILLED WELL LEAKAGE, PRESSURE TESTING AND DISINFECTION:**

**LEAKAGE & PRESSURE TESTING: (PURSUANT TO §1-1209 OF THE CURRENT EPR)**  
 (A) WATER SERVICE LINES AND WATER SERVICE PIPES SHALL BE PRESSURE TESTED AND LEAKAGE TESTED ACCORDING TO ONE OF THE FOLLOWING PROCEDURES PRIOR TO PLACING THE POTABLE WATER SUPPLY INTO SERVICE:

- VERMONT PLUMBING RULES;
- THE AWWA; OR
- BY PRESSURIZING THE LINES AND PIPES WITH WATER AT THE WORKING PRESSURE OF THE SYSTEM OR GREATER AND HOLD WITHOUT A DROP IN PRESSURE FOR A MINIMUM OF 16 MINUTES.

(B) ATMOSPHERIC STORAGE STRUCTURES SHALL BE LEAKAGE TESTED ACCORDING TO THE FOLLOWING PROCEDURE TO ENSURE WATER LOSS IS EQUAL TO OR LESS THAN 0.05 OF 1 PERCENT OF THE TANK CAPACITY PRIOR TO PLACING THE STRUCTURE INTO SERVICE:

- FILLING THE TANK WITH POTABLE WATER AND LET STAND FOR 24 HOURS; AND
- MEASURING THE LOSS OF WATER OVER 24 HOURS.

(C) IF THE WATER SERVICE LINE, WATER SERVICE PIPE, OR ATMOSPHERIC STORAGE STRUCTURE FAILS THE PRESSURE OR LEAKAGE TEST, THE CAUSE OF THE FAILURE SHALL BE REPAIRED, AND THE LINE, PIPE OR STRUCTURE RETESTED.

**DISINFECTION: (PURSUANT TO §1-1210 OF THE CURRENT EPR)**

(A) THE DRILLED WELL SHALL BE DISINFECTED PURSUANT TO THE REQUIREMENTS OF SUBSECTION (B), (C), AND (D) PRIOR TO PLACING THE WELL INTO SERVICE AND AFTER ANY SERVICING OR REPAIR OF THE WELL, SUCH AS INSTALLATION OF NEW PIPES, WIRES, CASING, OR PUMPS.

(B) DISINFECTION OF THE DRILLED WELL SHALL BE COMPLETED PURSUANT TO THE RECOMMENDATIONS BY THE VERMONT DEPARTMENT OF HEALTH FOR DISINFECTING A WATER SYSTEM, OR THE FOLLOWING METHOD:

- FLUSH THE WELL UNTIL THE WATER RUNS CLEAR;
- PROVIDE AN ADDITIONAL DOSAGE OF AT LEAST 100 MG/L OF CHLORINE IN THE WELL;
- CIRCULATE THE WATER IN THE WELL AND;
- ALLOW THE WATER TO REST IN THE WELL FOR A MINIMUM OF 12 TO 24 HOURS BEFORE DISPOSING OF THE CHLORINATED WATER.

(C) DISINFECTION OF THE WATER SERVICE LINES AND WATER SERVICE PIPES SHALL BE COMPLETED PURSUANT TO THE REQUIREMENTS OF THE VERMONT PLUMBING RULES OR THE FOLLOWING METHOD:

- FILL THE WATER SERVICE LINE OR WATER SERVICE PIPE WITH A WATER/CHLORINE SOLUTION OF 100 MG/L AND
- ALLOW THE CHLORINATED WATER TO REST IN THE WATER SERVICE LINE OR WATER SERVICE PIPE FOR A MINIMUM OF 24 HOURS BEFORE DISPOSING OF THE CHLORINATED WATER.

(D) DISINFECTION OF WATER STORAGE TANKS SHALL BE COMPLETED PURSUANT TO AWWA STANDARD C652.

(E) CHLORINATED WATER USED TO DISINFECT OR RESULTING FROM DISINFECTION OF THE DRILLED WELL SHALL NOT BE DISCHARGED TO A WASTEWATER SYSTEM OR TO SURFACE WATER. PROPER DISPOSAL OF THE CHLORINATED WATER IS TO THE GROUND SURFACE THROUGH SHEET FLOW THAT INFILTRATES INTO THE SOIL OR DISPOSAL TO A WASTEWATER TREATMENT FACILITY, IF AUTHORIZED BY THE WASTEWATER TREATMENT FACILITY.

**DRILLED WELL REQUIRED MINIMUM ISOLATION DISTANCES**

1. THESE DISTANCES APPLY TO DRILLED WELLS SERVING A SINGLE-FAMILY RESIDENCE, WITH A MAXIMUM DAILY DEMAND OF LESS THAN 1.9 GPM.

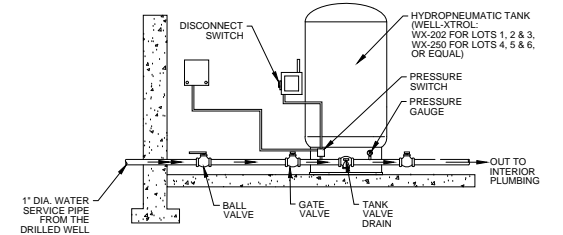
2. THE DRILLED WELL SHALL BE CONSTRUCTED IN ACCORDANCE WITH §1-1206 OF THE STATE OF VERMONT ENVIRONMENTAL PROTECTION RULES, CHAPTER 1, EFFECTIVE NOVEMBER 6, 2023.

**POTENTIAL SOURCE OF CONTAMINATION**

- SEWAGE DISPOSAL FIELD WITH FLOWS >2000 GPD
- SUBSURFACE WASTEWATER PIPING
- EDGE OF RESIDENTIAL DRIVE SERVING 3 RESIDENCES OR LESS
- EDGE OF DRIVEWAY, ROADWAY OR PARKING LOT SERVING 3 OR MORE RESIDENCES
- PROPERTY LINE
- BUILDINGS
- LIMIT OF HERBICIDE APPLICATION ON UTILITY RIGHT-OF-WAY
- SURFACE WATER
- CONCENTRATED LIVESTOCK HOLDING AREAS AND MANURE STORAGE:
- ABOVE GROUND IN-GROUND CONCRETE/GEOSYNTHETIC LINED EARTHEN LINED
- HAZARDOUS OR SOLID WASTE DISPOSAL SITE
- NON SEWAGE WASTEWATER DISPOSAL FIELDS

**SEPARATION DISTANCE**

- 200 FEET IF WELL IS DOWNSLOPE
- 100 FEET IF WELL IS UPSLOPE
- 50 FEET
- 5 FEET
- 25 FEET
- 10 FEET
- 5 FEET
- 100 FEET
- 10 FEET
- 200 FEET
- 50 FEET
- 100 FEET
- 200 FEET
- CONTACT DESIGNER
- CONTACT DESIGNER

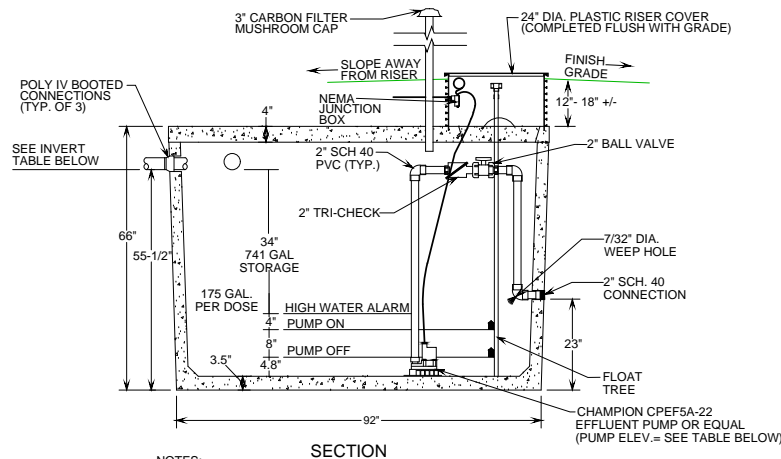


- NOTES:**
- HYDRO-PNEUMATIC TANK (TO BE DETERMINED).
  - PRESSURE SWITCH SETTING 40-60 PSI.

**TYPICAL COMPONENTS FOR A DRILLED WELL SUBMERSIBLE WELL PUMP WATER SYSTEM**

ELEVATION VIEW - NOT TO SCALE

**Exhibit S**



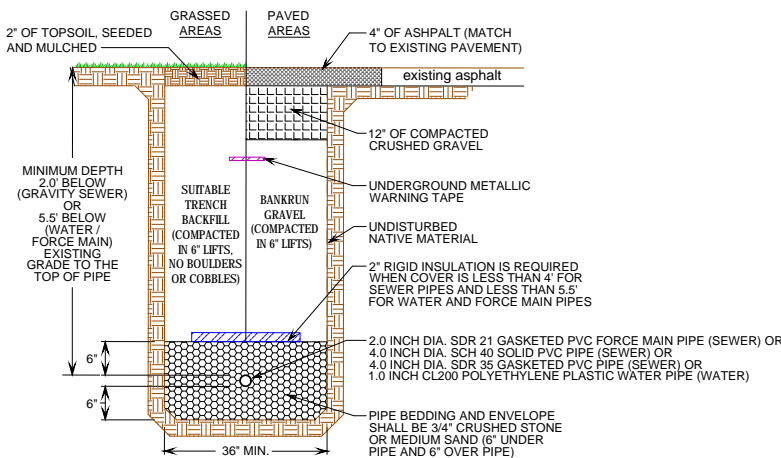
- NOTES:**
- PUMP STATION SHALL BE SET LEVEL ON A MINIMUM OF 6-INCHES OF COMPACTED GRANULAR BASE.
  - PUMP STATION SECTIONS SHALL HAVE BUTYL RUBBER JOINT SEALER.
  - IF WATER-PROOF BOOTED PIPE CONNECTIONS ARE NOT USED, PIPE PENETRATIONS SHALL BE SEALED WITH "WATER PLUG" NON-SHRINK HYDRAULIC CEMENT.
  - ON/OFF FLOAT SWITCH TO BE SET WITH A 8 INCH SWING SETTING TO PROVIDE A 175 GALLON DOSE VOLUME.
  - HIGH WATER LEVEL ALARM AND PUMP STATION SHALL BE WIRED BY A LICENSED ELECTRICIAN.
  - THE HIGH WATER ALARM SHALL BE MOUNTED AT A VISIBLE LOCATION.
  - THE EFFLUENT PUMP SHALL BE CAPABLE OF: (SEE TABLE BELOW).

**LOTS 1 & 2 - 1,000-GALLON TOP-SEAM CONCRETE PUMP STATION**

NOT TO SCALE

**PUMP STATION INVERT & PRESSURE TABLE**

LOT	INLET INVERT ELEVATION	PUMP ELEVATION	GPM	TDH
LOT 1	1509.15±	1504.9±	48	22
LOT 2	1507.65±	1503.4±	48	25



**GRASSED / PAVED AREA WATER / SEWER PIPE IN TRENCH DETAIL**

NOT TO SCALE

**Town of Starksboro RECEIVED 03/09/2026**

SIGNATURE:  
  
 JASON S. BARNARD  
 LICENSED DESIGNER #126179

DATE	DESCRIPTION	BY
REVISIONS		
<b>PROPOSED NINE-LOT SUBDIVISION &amp; PLANNED UNIT DEVELOPMENT</b>		
<b>ALAN D. &amp; NANCY E. NORRIS</b>		
2798 VT ROUTE 17, STARKSBORO, VERMONT		
<b>SEPTIC TANK, PUMP STATION, DISTRIBUTION BOX AND WATER SYSTEM DETAILS &amp; NOTES</b>		
THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW.		
<input type="checkbox"/> PRELIMINARY DRAFT <input checked="" type="checkbox"/> FINAL STATE REVIEW		
PROJECT NO. 24330	DATE: 01-29-2026	DRAWN: CS
SCALE: AS NOTED	SURVEY: TG,AW,MD	CHECKED: JSB
DRAWING NO. D-3	SHEET 8 OF 9	



Town of Starksboro  
**RECEIVED**  
3/4/2026

Alan & Nancy Norris  
Nine-Lot Subdivision  
2798 VT Route 17  
South Starksboro, Vermont

Exhibit U

Applicant response to ZA  
3/2/2026 email comments

Town of Starksboro  
Attn: Steve Rooney, Zoning Administrator  
PO Box 91  
Starksboro, VT 05487

March 4, 2026

Subject: Alan & Nancy Norris, Nine-Lot Subdivision, 2798 VT Route 17, South Starksboro, Vermont –  
Preliminary Plan Hearing Application – RFI Response & Supplementary Narrative

Dear Steve:

Thank you for your review of the Preliminary application. The draft Preliminary plans will be further developed as noted below prior to the Final application, and the supplementary narrative is provided

1. Cover letter is addressed to Amy McCormick, the final plan review version should probably be changed to me.

Noted, thank you.

2. The zoning permit application is not required at this time. A separate zoning permit application will need to be filed for each lot prior to construction.

Noted, thank you.

3. The fee of \$2475 is accurate, the \$75 for the final hearing can be paid when that application is filed. I've attached a fee schedule. I have a check from Alan on my desk for this amount.

Noted, thank you.

4. Just fyi, there is a new DRB application form online, I can work with this one without resubmission.

Noted, thank you.

5. I will be attaching the minutes from the 25-DRB-04SD Pre-application meeting on 5/22/2026 for information only. I've assigned a new case number to this (26-DRB-03SD) as the earlier application was supposed to be unofficial ("pre-application").

Noted, thank you.

↑  
ZA Note 3/9/26:  
changed to  
26-DRB-01PUD

6. I've modified the DRB application at the bottom office use area to reflect the preliminary review status.

Noted, thank you.

7. Narrative 426.E(2) response: Last sentence states: *There are Class II wetlands associated with the parcel and all existing infrastructure will be adequately isolated from any Class II wetlands.* I assume the word “existing” should be eliminated?

Yes, thank you.

8. I’m not clear on the future development intent on the non-gravel pit, non-conserved, remaining land on both Lots 8 and 9. I see adequate access provided to both, but do not see building envelopes for 8 and 9? The SP-1 plan submitted to VTrans has a note about a future house on Lot 8? Some narrative might be devoted to explain this.

At this time, Lots 8 & 9 are not proposed to be developed and will be deferred lots. Lot 8 will remain in agricultural use as a hay field. Lot 9 will be deferred and will be maintained as a woodlot and used for recreational purposes such as hunting and hiking.

9. You should note the current status of the project with respect to ACT 250 (subject or not subject), and W/WW permitting, understanding that this may change between hearings.

An Act 250 permit is not required for a 9-lot residential subdivision complying with the Act 181 Road Rule (road length 630’±; combined road & driveway lengths 1,350’±). A state WW Permit application has been submitted.

10. The abutter parcel boundaries on the east side of PL-1, and the landowner labels, seem to be offset from the layout on S-1. The Higgs Parcel is noted on the site plans but not on PL-1.

Survey plat & site plan layers reconciled, thank you.

11. Stormwater: Note 11 on S-1 uses the reclamation of the gravel pit to reduce the final impervious calculation. Can you elaborate on where this is allowed in the stormwater rules? Are you still over the 10,000sf SLUDR Section 331 impervious threshold for providing a stormwater management plan? If so, that should be addressed in the narrative.

Stormwater management is described in the narrative, page 6 (LUR sec. 427.D(8)(5)). Based on Jason Barnard’s discussions with stormwater engineer, Jeff Olesky P.E. of Catamount Engineering, since the project contains existing impervious area (the existing gravel pit, a recently removed agricultural building and the two residential drives that once served the Stokes farmhouse), the addition of the new impervious area is considered redevelopment. Further, according to the current stormwater permit triggers, since the parcel contained existing impervious area a stormwater permit is not required provided the total amount of impervious area (new and existing) is less than 1.0 acre. This is the case with the Norris subdivision.

12. Development phasing: Your narrative 358.F should address your expectations for build-out time frame from date of approval for the shared infrastructure, the private infrastructure (as much as can be predicted), and the gravel pit reclamation. If gravel pit work will take place up-front, I assume more detail will be provided along with a zoning permit for that exercise?

The shared access road is planned for construction in late summer/fall of 2026. Once the shared access road is installed, the individual developable parcels of land are planned to be sold and developed by the new landowners. Individual site infrastructure (individual drives, septic systems, wells and utilities) will be the responsibility of the new landowner. It is expected that the six (6) new homes will be built out over a two (2) to five (5) year period. As previously mentioned, no development for Lot 8 or 9 is proposed at this time. The gravel pit reclamation will be coordinated with site excavation work, and will be completed prior to issuance of the third (3<sup>rd</sup>) residential zoning permit to be issued for Lots 1-6.

13. The Zoning information block on S-1 has some text printing issues. The PDF appears normal; no trouble to reprint paper copies as necessary upon request. WP and FHO districts are noted in the S-1 and PL-1 zoning summaries, but I do not see where they are located on the site plans? I'm not sure the WP zone applies here? I'm assuming the FHO is limited to the Zone A shown on your SFHA ANR map (FEMA map 500172 B page 15)?

Correct – WP is an inadvertent vestige, and the FHO is shown on the ANR map.

14. I see the 100ft setback to the Rt 17 C.L. from the Lot 6 envelope on PL-4, this is missing on the Lot 1 envelope on PL-2. The 50' setbacks from the private road to the building envelopes appear to require relief (as allowed in the PUD) from the 100ft ASRR road setback. This is clear on Lot 1 and 2, but not labelled on Lots 3-6. The Lot 1 and 2 dims could be noted as "TYP.", as well as the adjacent property setback of 20ft noted Lot 1 and 2.

The drawings are intended to be preliminary for review and will be developed in further detail for Final review pending the Board's Preliminary review & comments. The proposed front setbacks <100' from the proposed subdivision road CL will be added to the requested modifications of dimensional standards to achieve the goals of the PUD.

15. The 427.C(5) narrative says utilities (assume electrical) will be extended underground for the proposed service connections. I assume these will be run from the pole at Lot 1 in the Rt 17 r.o.w. then into the 50' private r.o.w. but it is not clear, otherwise you might need a shared utility easement somewhere.

Utility services include electric and telecom. The project plans have been submitted to Green Mountain Power to request an Ability to Serve letter. Easements will be provided as necessary after Green Mountain Power engineering staff determines the proper location for the service drop.

16. Steep Slopes: If envelope sites will be subject to 334.C and 334.D requirements, how these will be addressed should be noted in the narrative.

Lots 1 & 2 include a relatively narrow (40' – 80' wide) band of slopes that are at or slightly greater than 15%. The Lot 1 slopes are approximately 15% - 16% along the easterly side only; the Lot 2 slopes are 16% - 18% in the vicinity of the Lot 2 house site. The proposed house sites are shown diagrammatically as benched into the slopes (per LUDR Figure 18). Overall, the current

slopes associated with Lot 1 and 2 are manageable and site grading and/or concrete or boulder retaining walls that would be less than 6-feet high will provide adequate site stability. As part of the recent approval of the Matt Norris subdivision on Lafayette Road, a condition of the subdivision approval required that conditional use application be submitted and approved prior to commencing construction on the parcel that contains slopes exceeding 15% and less than 20%. At this juncture, the actual house design is unknown (as with the Matt Norris subdivision) and in order for proper grading design and retaining wall placement (if necessary), this would be best done in the future when the zoning permit application is applied for.

17. After looking at the Agricultural Soils Map you provided, you should include a discussion in the narrative on how you are addressing 354.C.

LUDR section 354.C is applicable “if the property to be subdivided is primarily farmland”. However, the property to be subdivided is not primarily farmland. The property is primarily forest and water resources, both of which are classified as Priority 9 (out of 10, with 10 highest priority) wildlife habitat block. A minor portion of the property includes farmland, but even this is fragmented by the natural terrain and the existing driveway & gravel pit. Despite the low quality and low priority of the farmland, the subdivision is configured to comply with the design principles of 354.C(4) as a cluster of six homes near the road, in close proximity to each other, organized around a central green, and surrounded by farmland or woodland.

Town of Starksboro  
Development Review Board  
Minutes (APPROVED)  
May 22, 2025

See Page 2 for  
25-DRB-02SD  
Norris

Members Present: Ben Campbell, Evelyn Boardman, Arnell Paquette, Rich Warren, Luke McCarthy, Rob Liotard, Tom Perry

Applicants Present: Alan Norris, Scott Baker (Zoom) and Jason Barnard for Barnard & Gervais, LLC

Visitors: Sprague Huntington, Leo Huntington, Charlotte Sullivan (Zoom), Jenny Austgen (Zoom), Carrie Austgen (Zoom), Lexi Thompson (Zoom), Jennifer Lovett (Zoom), Charles Lovett (Zoom), Chris Boyle (Zoom), Adam Aguire (Zoom)

Meeting called to order by Chair Ben Campbell at 7:01pm

**Public Comment:** None

**Hearing #25DRB-05-SD Jerusalem Road Nominee Trust:**

- B. Campbell read the public warning and relevant statutes. Checked for conflicts and ex parte communications. There were none. Stated right to appeal and swore in all attendees making statements.
- B. Campbell spoke about zoning bylaws and the stage of the hearing that we are currently in and talked about how the hearing cannot be closed tonight. J. Barnard countered that the application was submitted as a sketch plan preliminary review and all actual engineering drawings still need to be created, so this is still a preliminary review, not a hearing. After much debate of language and terminology regarding different levels of the review process, all parties agreed that this is a preliminary review and the board – at this time – would not be making any deliberations or decisions and only offering informal feedback.
- J. Barnard gave another brief overview of the proposed subdivision.

**Motion:** R. Liotard moves to accept this application as a major subdivision. A. Paquette seconds.

**Vote:** All in favor

**Motion:** R. Warren moves to acknowledge this meeting as an informal application review and hold the meeting open to a date certain. E. Boardman seconds.

**Vote:** All in favor

**5-minute recess**

**Hearing #25DRB-04-SD Norris 9 Lot Subdivision:**

- B. Campbell read the public warning and relevant statutes. Checked for conflicts and ex parte communications. There were none. Stated right to appeal and swore in all attendees making statements.
- J. Barnard stated the subdivision is now a 9-lot division as opposed to the originally proposed 8 lot subdivision. Instead of all remaining lands being contained in one large lot the remaining lands will be split into two lots. One primarily containing the beaver pond, and the other primarily being the remaining woods land.
- J. Barnard read the development criteria for consideration:
  - o Siting and Suitability – Access to Route 17 to be improved to VTrans standards. Well drained soils and level topography.
  - o Natural Features – The subdivision attempts to tuck houses to edges of the field and conserve as much open land as possible. The houses on Lots 3 and 6 will be against the tree line to blend the structures into the woods. There is a large wetland complex on site and a wetlands specialists will be marking out boundaries. All proposed homes are well outside of the wetland buffer.
  - o Character of Area – The proposed density is relatively minimal given the well-draining soils and size of lots compared to what is allowed in the zoning district.
  - o Energy Conservation – Houses will be built according to most recent energy standards
  - o Access – A private road will utilize an existing curb cut onto Route 17 and a new shared gravel road will be created. Only one entry onto Route 17.
  - o Infrastructure – The development will not adversely impact traffic on Route 17. Electricity to houses will be underground. The new road will be approximately 1,000 feet and will have a driveway agreement between residents.
  - o Lighting – Will be typical of a residence and will be in accordance with zoning regulations.
  - o Recreation – There will be the common land on lot 7 (middle of the horseshoe shaped driveway) as well as 60% set-aside lands at a location on the property yet to be determined. The property will likely require a state stormwater permit.

**Motion:** T. Perry moves to **close the informal hearing**. R. Warren seconds.

**Vote:** All in favor

**Review and approve any outstanding minutes:**

- Minutes of the May 8 DRB meeting were reviewed, and edits were suggested.

**Motion:** E. Boardman moves to accept the minutes with the suggested changes. A. Paquette seconds.

**Vote:** All in favor

**Motion:** E. Boardman moves to adjourn the meeting. R. Liotard seconds.

**Vote:** All in favor

Meeting adjourned at 8:45

**From:** Charlotte X.C. Sullivan [redacted]  
**Sent:** Wednesday, March 25, 2026 7:24 AM  
**To:** Starksboro Zoning Administrator  
**Cc:** Ben Campbell  
**Subject:** Re: 26-DRB-01PUD Norris 9-lot subdivision testimony

Thank you for confirming all that.

Yes, please email me their final plan review. I am not an abutter but my property includes a significant section of the Hallock Brook, so I am connected to the Norris land parcel by way of the watershed. I appreciate your offer to do that for me very much.

Charlotte

[CHARLOTTE X.C. SULLIVAN](#)

On Tue, Mar 24, 2026 at 3:33 PM Starksboro Zoning Administrator <[zoning@starksborovt.org](mailto:zoning@starksborovt.org)> wrote:

Hi Charlotte, this email chain will be added to your testimony in the exhibit, so the DRB will review this correspondence as well. In terms of follow-up of questions, you may review the video of the meeting or review the minutes once they are posted.

As this is a preliminary plan review hearing, the DRB will issue a preliminary determination on the application (not a final decision), within 45 days of the hearing to guide the applicant in submitting their final plan review application. As you are not an abutter, this will not be mailed to you automatically, but it is a matter of public record and if you wish I can mail or email this to you once issued.

Regards,

Exhibit W



Stephen Rooney

Zoning Administrator

Town of Starksboro

Direct Line: 802-453-2768

[zoning@starksborovt.org](mailto:zoning@starksborovt.org)

Office Hours Mon & Tues 9am - 3:30pm

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**From:** Charlotte X.C. Sullivan [redacted]  
**Sent:** Tuesday, March 24, 2026 3:22 PM  
**To:** Steve Rooney <[srooney@starksborovt.org](mailto:srooney@starksborovt.org)>  
**Cc:** Starksboro Zoning Administrator <[zoning@starksborovt.org](mailto:zoning@starksborovt.org)>; Ben Campbell <[bcampbell@starksborovt.org](mailto:bcampbell@starksborovt.org)>  
**Subject:** Re: 26-DRB-01PUD Norris 9-lot subdivision testimony

Dear Steve,

Yes I do find these helpful. However, I want to make sure that just because you have answered my questions, the questions will still be considered by the DRB at the hearing? And that I will receive more of an expansive explanation after the hearing with respect to Question #2?

While your replies were clarifying and I am grateful for them, they also reveal more disturbing rather than reassuring aspects to me about this proposal.

Few follow up notes below in **blue**

Thanks again for all your assistance,

Charlotte

On Tue, Mar 24, 2026 at 3:07 PM Steve Rooney <[srooney@starksborovt.org](mailto:srooney@starksborovt.org)> wrote:

Charlotte, see below for my responses in red.

I hope you find these helpful.

Regards,



Stephen Rooney

Zoning Administrator

Town of Starksboro

Direct Line: 802-453-2768

[zoning@starksborovt.org](mailto:zoning@starksborovt.org)

Office Hours Mon & Tues 9am - 3:30pm

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**From:** Charlotte X.C. Sullivan

**Sent:** Tuesday, March 24, 2026 12:52 PM

**To:** Steve Rooney <[srooney@starksborovt.org](mailto:srooney@starksborovt.org)>

**Cc:** Starksboro Zoning Administrator <[zoning@starksborovt.org](mailto:zoning@starksborovt.org)>; Ben Campbell <[bcampbell@starksborovt.org](mailto:bcampbell@starksborovt.org)>

**Subject:** Re: 26-DRB-01PUD Norris 9-lot subdivision testimony

Thanks for your confirmation.

With regards to my questions, I would really appreciate well articulated answers rather than just being directed to the new application which I have already reviewed. I understand the new packet link is much a more comprehensive application than the materials my testimony referenced a year ago, however much of the language in the application is identical to last years and therefore my questions are still relevant.

Here they are again, and again, I ask, how and when will I receive answers to the questions?

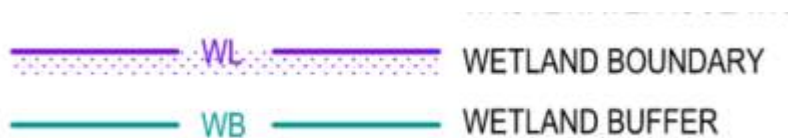
- 1. Where are the flood hazard areas and what assurances do we have that these classifications are not outdated?

**SR: The Special Flood Hazard Area is indicated on Exhibit G (page 41 of the pdf packet), and is limited to the bog area. This is consistent with the old FEMA maps and the current ANR GIS map shown in the Exhibit. FEMA is in the process of updating these maps but they will not be official for some time. I hope the DRB understands the risk of relying on old FEMA maps rather than the updated ones. I would encourage them to pause on development in special flood areas until these new maps are released, especially given what I already wrote about what happened the last time the Norris' permit was approved to build on a Class II wetland. I would hope as a body the DRB would think not just about supporting the Norris' interest in development, but the risks posed to future residents of our town.**

- 2) What evidence does the applicant have to prove that there will be “no undue adverse impact on wildlife habitat”? If none, what governing body has the authority to determine this? **SR: This would need to be confirmed at the hearing, but the applicant appears to be relying on the wildlife habitat areas shown in green in Exhibit G (page 43 of the pdf packet). The DRB has the discretion to question, dispute, or accept this statement in their decision. I look forward to having this adequately addressed at the hearing, especially with respect to the PDF I submitted in my testimony. What is the best way to receive follow up about a response to this question, if I unable to be present at the hearing?**

- 3) Where are the Class II wetlands associated with this parcel and what is the definition of “associated”?

**SR: “Associated” means there are Class II wetlands within the parcel boundaries. The Class II wetlands are indicated on drawings S-1 thru S-5 (Exhibits L-P) with the following line types:**



4) What evidence does the applicant have to prove that "all existing infrastructure will be adequately isolated from any Class II wetlands"?

SR: The applicant has noted when questioned that the word "existing" is a typo and will be removed from the narrative in the final plan review application.

Proof of isolation is limiting final constructed surfaces to 10 feet outside of the wetlands buffer, per current State Wetlands rules, to allow room for construction activities not to disturb the buffer.

5) Why were the wetland boundary and wetland buffer zones not shown on the maps provided? Where can a map be seen that shows these zones overlaid on the subdivision sketch? SR: See response to your question #3

On Tue, Mar 24, 2026 at 9:02 AM Steve Rooney <[srooney@starksborovt.org](mailto:srooney@starksborovt.org)> wrote:

Hi Charlotte, I am in receipt of your written testimony and this will be included in the hearing exhibits.

To help with your questions, you may wish to review the application materials, which have been updated since the May 2025 hearing. You can do so by coming into the office, or by reviewing them online by going to the Town website under Agendas and Minutes, and clicking on the [Packet](#) link associated with this hearing date. I've inserted the link for your convenience.

Regards,



Stephen Rooney  
Zoning Administrator  
Town of Starksboro

Direct Line: 802-453-2768

[zoning@starksborovt.org](mailto:zoning@starksborovt.org)

Office Hours Mon & Tues 9am - 3:30pm

**From:** Charlotte X.C. Sullivan [redacted]

**Sent:** Monday, March 23, 2026 4:49 PM

**To:** Steve Rooney <[srooney@starksborovt.org](mailto:srooney@starksborovt.org)>; Starksboro Zoning Administrator <[zoning@starksborovt.org](mailto:zoning@starksborovt.org)>

**Cc:** Ben Campbell <[bcampbell@starksborovt.org](mailto:bcampbell@starksborovt.org)>

**Subject:** Re: 26-DRB-01PUD Norris 9-lot subdivision testimony

To the Starksboro DRB

c/o Steve Rooney:

Please see attached for my 26-DRB-01PUD Norris 9-lot subdivision testimony.

Note that this testimony was written in 2025, so in instances where time is referenced, eg, "last year", that should be understood as the year 2024, not 2025.

I would also like to know when I can expect to receive answers to the questions I posed, if I am unable to attend the hearing to ask them in person.

Sincerely,

Charlotte Sullivan

On Mon, Mar 23, 2026 at 4:33 PM Charlotte X.C. Sullivan [redacted] wrote:

Address? Are you saying I have to put it in the physical mail rather than email you a PDF? My testimony is a PDF with hyperlinks.

Please let me know what emails to send it to.

On Mon, Mar 23, 2026 at 4:29 PM Steve Rooney <[srooney@starksborovt.org](mailto:srooney@starksborovt.org)> wrote:

Thanks Charlotte, you may address it to the Starksboro DRB in care of me.

Regards,



Stephen Rooney

Zoning Administrator

Town of Starksboro

Direct Line: 802-453-2768

[zoning@starksborovt.org](mailto:zoning@starksborovt.org)

Office Hours Mon & Tues 9am - 3:30pm

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**From:** Charlotte X.C. Sullivan   
**Sent:** Monday, March 23, 2026 4:27 PM  
**To:** Steve Rooney <[srooney@starksborovt.org](mailto:srooney@starksborovt.org)>  
**Cc:** Ben Campbell <[bcampbell@starksborovt.org](mailto:bcampbell@starksborovt.org)>  
**Subject:** Re: 26-DRB-01PUD Norris 9-lot subdivision testimony

Thank you for the follow up.

Yes I would like to resubmit my written testimony. Who do I send it to?

[CHARLOTTE X.C. SULLIVAN](#)

On Mon, Mar 23, 2026 at 4:24 PM Steve Rooney <[srooney@starksborovt.org](mailto:srooney@starksborovt.org)> wrote:

Hi Charlotte,

In reviewing the minutes and files associated with the pre-application meeting held May 22, 2026 to review the above project, I noticed that you submitted written testimony to the DRB in reference to this project.

There was some confusion at the time of this initial meeting as to whether it needed to be warned as a hearing.

It was warned, and abutters notified, but that turned out not to be required, as the bylaws require a “pre-application” meeting take place, either with the zoning administrator or the DRB, that is not a hearing, is informal and non-binding on all parties. The May 22<sup>nd</sup> meeting was not an official public hearing, and no testimony was officially taken into evidence.

The project has now been submitted formally for review as a Planned Unit Development application,  
see the attached warning.

I wanted you to be aware that if you wish for your earlier testimony to be given status as evidence in this actual hearing

you will need to resubmit it before the April 23<sup>rd</sup> hearing date.

Let me know if you have any questions or comments.

Regards,



Stephen Rooney

Zoning Administrator

Town of Starksboro

Direct Line: 802-453-2768

[zoning@starksborovt.org](mailto:zoning@starksborovt.org)

Office Hours Mon & Tues 9am - 3:30pm

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[CHARLOTTE X.C. SULLIVAN](#)

May 3, 2025

Charlotte Sullivan  
1901 Robert Young Rd.  
Starksboro VT 05487

To the Starksboro DRB:

My family and I have lived at 1901 Robert Young Rd, right along the Hallock Brook, since 2019. One of the most special parts about living here is being able to support the wildlife habitat in the wetland area behind our home: great blue heron, Merlin falcon, bald eagle, beaver, egret, muskrat, mallards, wood ducks, grey fox, timberdoodle, juvenile least bittern (currently listed as a “species of high concern in the North American Waterbird Conservation Plan and is a US Fish and Wildlife Service migratory bird species of conservation concern in the Northeast.”\* It should be noted that its “high concern” designation in Vermont is from 2015\*\*. “The wildlife action plan for the state is updated every 10 years and the new one’s draft is scheduled to be released either this month or next for public comment so the newly updated list will be included in that final plan but it won’t be official until probably fall or early winter.”\*\*\*)

I share this context on the least bittern to demonstrate how much can change in ten years (will their status be changing in this next report?) And, while these animal sightings have been made along Hallock Brook downstream from the pond to the northeast of the proposed development, their habitat is connected to this water source.

*Flood Stories*

In the July 2023 flood, Robert Young Road, to the West of us, washed away. Ironically, this was because the town of Starksboro destroyed the beaver dam that had been built on Hallock Brook, partially blocking the culvert. The town replaced the dam with a metal grate that clogged. This led waters to rise, and subsequently wash away the road. I watched this happen in real time with my son and father.

The day after the July 2024 flood, I began driving North on Rt. 17, towards the land where this subdivision is proposed to be built. I quickly learned I needed to turn the car around because the entire South bound lane had washed away.

My family and I have been very fortunate to have been spared any damage from both the '23 and '24 floods. My parents, who live in Hinesburg, have not been as lucky. They live in the most recently completed development project by Alan and Nancy Norris. Last summer, their basement flooded; boxes of family heirlooms were destroyed forever. Every single basement in their condo complex on Rt. 116 flooded. These included homes of people with finished basements. While the losses my parents suffered were not as extreme as others who lost entire homes, they were still significant enough that FEMA payouts were made.

Their home was built on Class II wetlands, you can review the Norris' 2015 permit to build on them here: <https://hinesburg.lr-1.com/user/02b4e4-BK248PG%20113-118.pdf>

I share this anecdote because I believe the town of Hinesburg made a mistake approving this permit. I also think it is worth noting that this permit was from 2015 (again, so much can change in ten years), but the project wasn't move in ready till

5+ years later. In other words, even if a special permit is needed for this project in Starksboro, by the time buildings are completed, will the integrity of that permit really still be valid? Even on an average rainy day, the water mitigation around the Hinesburg development is still problematic. (My mother has photo and video documentation of this available upon request).

My parents bought their home in Hinesburg because it was one of the only places they could afford to buy, and that was in 2021. I am grateful they live so close to me though I wish they could live with confidence their basement will never flood again. As a young member of this community, I recognize the need for more affordable housing, particularly in Starksboro. But I believe there is a way to invest in new housing that does not interfere negatively with our wetlands.

*Advocating For Wildlife and Ensuring Safety for Humans*

I now want to bring attention to a 2015 report and set of maps: <https://anr.vermont.gov/sites/anr/files/maps/biofinder/Vermont%20Conservation%20Design%20-%20Landscapes%20-%20December%202015.pdf>

While there are no road overlays, the maps clearly show that the land parcel in question is situated within a highest priority block for ecological connectivity and conservation. And while there is no legal standing for protecting these zones, it is clear that in order to be resilient to climate change, we must be mindful of these areas when creating new developments. From the report (my emphasis in bold):

**“When the ecological functions of each of these landscape elements are maintained and enhanced, and when each is conserved at the appropriate scale and distribution across the landscape, the majority of Vermont’s species**

**and natural communities are very likely to be conserved even as the climate changes...**Maintaining the landscape connectivity function requires both Connectivity Blocks and Riparian Areas for Connectivity, especially in highly fragmented areas of Vermont. There is general agreement among conservation biologists that landscape connectivity and wildlife corridors can mitigate some of the adverse effects of habitat fragmentation on wildlife populations and biological diversity (Beier and Noss 1998; Noss and Cooperrider 1994; Haddad et al. 2003; Damschen et al. 2006). **Specifically, climate change adaptation is enhanced if the long distance movements of plants and animals is supported by a combination of short movements within large, topographically diverse forest blocks and short corridor movements between forest blocks (Beier 2012)."**

### *Questions*

In the project description, I read: "No new development is being proposed within flood hazard areas and the project will not have undue adverse impact on significant wildlife habitat. There are Class II wetlands associated with the parcel and all existing infrastructure will be adequately isolated from any Class II wetlands." Here are my questions about this:

- 1) Where are the flood hazard areas and what assurances do we have that these classifications are not outdated?
- 2) What evidence does the applicant have to prove that there will be "no undue adverse impact on wildlife habitat"? If none, what governing body has the authority to determine this?
- 3) Where are the Class II wetlands associated with this parcel and what is the

definition of “associated”?

4) What evidence does the applicant have to prove that "all existing infrastructure will be adequately isolated from any Class II wetlands”?

5) Why were the wetland boundary and wetland buffer zones not shown on the maps provided? Where can a map be seen that shows these zones overlaid on the subdivision sketch?

6) Why was the “Review Checklist” (pages 4-5) on the DRB Application not filled out? When will they be, and how can I and others interested, review them?

### *Requests*

I hope the town of Starksboro chooses to learn from the mistake I believe was made in Hinesburg. I hope the town **takes their time** considering the risks of this proposal, not just for the sake of protecting wildlife habitat, but for the safety of current and future residents of our town. I hope the town considers deeply how unpredictable our world is right now in relation to this proposal: are the current state wide regulations for development safety really enough given that floods will only get worse? And with the strong possibility FEMA funds may not exist anymore? I hope the town will challenge themselves to consider the implications of this proposal as far ahead as the next century, and to act, after this reflection, with courage and care.

Sincerely,

Charlotte Sullivan

Sources

\*<https://pubs.usgs.gov/publication/70196947>

\*\* <https://www.vtfishandwildlife.com/sites/fishandwildlife/files/documents/About%20Us/Budget%20and%20Planning/WAP2015/5.-SGCN-Lists-Taxa-Summaries-%282015%29.pdf>

\*\*\* from personal correspondence with Travis Hart, State and Private Lands Biologist, Rutland Office



State of Vermont  
Department of Environmental Conservation

Agency of Natural Resources  
Drinking Water and Groundwater Protection Division

**WASTEWATER SYSTEM AND POTABLE WATER SUPPLY PERMIT**

**LAWS/REGULATIONS INVOLVED**

10 V.S.A. Chapter 64, Potable Water Supply and Wastewater System Permit  
Wastewater System and Potable Water Supply Rules, Effective November 6, 2023

**Permittee(s): Alan D. Norris  
Nancy E. Norris  
PO Box 368  
Hinesburg, VT 05461**

**Permit Number: WW-9-3539**

This permit affects the following properties in Starksboro, Vermont:

Lot	Parcel	SPAN	Acres	Book(s)/Page(s)#
1 - Proposed			1.04	
2 - Proposed			1.04	
3 - Proposed			1.12	
4 - Proposed			1.71	
5 - Proposed			1.41	
6 - Proposed			2.16	
7 - Proposed			1.36	
8 - Proposed			24.54	
9 - Proposed			50.50	Book:99 Page(s):174
9 - Existing	10815	615-193-10815	84.89	Book:99 Page(s):174

This application, consisting of the subdivision of existing Lot 9 into proposed Lots 1, 2, 3, each for the construction of a 4-bedroom single family residence, Lots 4, 5, and 6 each for the construction of a 4-bedroom single family residence and 1-bedroom accessory dwelling unit, and Lots 7, 8, and 9 which remain subject to notice of permit requirements, located at 2798 VT Route 17 in Starksboro, Vermont, is hereby approved under the requirements of the regulations named above subject to the following conditions. Any person aggrieved by this permit may appeal to the Environmental Court within 30 days of the date of issuance of this permit in accordance with 10 V.S.A. Chapter 220 and the Vermont Rules of Environmental Court Proceedings.

**1. GENERAL**

- 1.1. The permittee is responsible for recording this permit in the Starksboro Land Records within 30 days of issuance of this permit and prior to the conveyance of any lot subject to the jurisdiction of this permit.
- 1.2. The permittee is responsible for recording the design and installation certifications and other documents that are required to be filed under these Rules or under a permit condition in the Starksboro Land Records.
- 1.3. Each assign or successor in interest shall be shown a copy of the Wastewater System and Potable Water Supply Permit and the stamped plan(s) prior to the conveyance of a lot.

TOWN CLERK'S OFFICE  
STARKSBORO, VERMONT

March 23 20 26  
at 12 o'clock 07 minutes P M  
received this instrument for record

Vol. 127 Page 212-214

Attest:

Regional Offices - Montpelier/Essex Jct./Rutland/Springfield/St. Johnsbury



- 1.4. The landowner is responsible for establishing any easement(s) shown on the approved plans. The land deeds that establish and transfer ownership of the approved lot(s) shall allow future owner(s) the right to construct, maintain, and repair the wastewater and/or potable water supply systems approved herein. If the landowner does not properly execute said easement(s), this permit becomes null and void for any subject lot conveyed without easement(s).
- 1.5. Lots 7, 8, & 9 are NOT approved for construction at this time. Any deed for these parcels shall contain the following language until a permit has been obtained from the Drinking Water and Groundwater Protection Division: *"Notice of permit requirements. In order to comply with applicable state Rules concerning potable water supplies and wastewater systems, a person shall not construct or erect any structure or building on the lot of land described in this deed if the use or useful occupancy of that structure or building will require the installation or connection to a potable water supply or wastewater system, without first complying with the applicable rules and obtaining any required permit. Any person who owns this property acknowledges that this lot may not be able to meet state standards for a potable water supply or wastewater system and therefore this lot may not be able to be improved."*
- 1.6. By acceptance of this permit, the permittee agrees to allow representatives of the State of Vermont access to the property covered by the permit, at reasonable times, for the purpose of ascertaining compliance with the Vermont environmental and health statutes and regulations, and permit conditions.
- 1.7. The Drinking Water and Groundwater Protection Division relied upon the Vermont Licensed Designer's certification that the design-related information submitted is true and correct and complies with the Wastewater System and Potable Water Supply Rules. This permit may be revoked if it is determined the design of the wastewater system or potable water supply does not comply with these rules.
- 1.8. This permit does not relieve the landowner from obtaining all other approvals and permits from other State Agencies or Departments or local officials prior to construction.

## 2. SUBDIVISION AND CONSTRUCTION

- 2.1. Subdivision and construction shall be completed as shown on the plans and/or documents prepared by Jason Barnard, with the stamped plans listed as follows:

Title	Sheet #	Plan Date	Revision
<b>Lots 1, 2, &amp; 3 Wastewater System Details</b>	D-1	01/20/2026	-
<b>Lots 4, 5 &amp; 6 Wastewater System Details and Notes</b>	D-2	01/20/2026	-
<b>Septic Tank, Pump Station, Distribution Box and Water System Details &amp; Notes</b>	D-3	01/29/2026	-
<b>Erosion &amp; Stormwater Control Details and Notes</b>	D-4	01/29/2026	-
<b>Overall Subdivision Plan</b>	S-1	01/29/2026	-
<b>Lots 1-7 Subdivision Plan</b>	S-2	01/29/2026	02/19/2026
<b>Lots 1 &amp; 2 Site Plan</b>	S-3	01/29/2026	02/19/2026
<b>Lots 3 &amp; 4 Site Plan</b>	S-4	01/29/2026	02/19/2026
<b>Lots 5 &amp; 6 Site Plan</b>	S-5	01/29/2026	-

- 2.2. Construction of wastewater systems or potable water supplies, or buildings or structures (as defined by the Wastewater System and Potable Water Supply Rules), or campgrounds, not depicted on the stamped plans, or identified in this permit, is not allowed without prior approval by the Drinking Water and Groundwater Protection Division.
- 2.3. No buildings, roads, water pipes, sewer services, earthwork, re-grading, excavation, or other construction that might interfere with the operation of a wastewater system or a potable water supply are allowed on or near the site-specific wastewater system, wastewater replacement area, or potable water supply depicted on the stamped plans. Adherence to all isolation distances that are set forth in the Wastewater System and Potable Water Supply Rules are required.

### 3. INSPECTIONS

- 3.1. No permit issued by the Secretary shall be valid for a substantially completed potable water supply and wastewater system until the Secretary receives a signed and dated certification from a qualified Vermont Licensed Designer (or where allowed, the installer) on a Secretary-approved form that states:

*"I hereby certify that, in the exercise of my reasonable professional judgment, the installation-related information submitted is true and correct and the potable water supply and wastewater system were installed in accordance with the permitted design and all permit conditions, were inspected, were properly tested, and have successfully met those performance tests."*

or which satisfies the requirements of §1-311 of the referenced rules.

- 3.2. Prior to the use of a potable water supply, the permittee shall test the water for Arsenic, Escherichia coli (E. coli), Fluoride, Lead, Manganese, Nitrate as N, Nitrite as N, Total Coliform Bacteria, Uranium, Adjusted Gross Alpha Particle Activity, Chloride, Sodium, Iron, and pH. The Lead sample shall be a first-draw. All water quality tests shall be conducted at a laboratory certified by the Vermont Department of Health (a list of which can be found on the VDH website). Results of the water tests shall be submitted to the Drinking Water and Groundwater Protection Division and the Vermont Department of Health prior to use or within 60 days of the submission of the Installation Certification required in Condition 3.1, whichever comes first.
- 3.3. Prior to constructing the potable water supply on Lot 4, 5, or 6, other than drilling of the water source, the permittee shall submit to the Drinking Water and Groundwater Protection Division a report by a Class 1, or Class BW Designer that includes the estimated yield of the source, specifications for the pump, and the design flow, design rate, and peak instantaneous demand of the potable water supply. If the estimated yield of the source cannot provide water in a quantity that satisfies the design flow, design rate, and instantaneous peak demand, the permittee shall submit an application to the Drinking Water and Groundwater Protection Division that includes a design prepared by a Class 1, or Class BW Designer for the water distribution system, including sizing calculations, specifications for pumps, hydropneumatic tanks, and storage facilities.

### 4. DESIGN FLOW

- 4.1. The following table provides the flows that the wastewater system and potable water supply are designed to accept based on existing and proposed lot and building uses. The design flows in gallons per day (gpd) in the following table are derived from section 1-803 of the Rules:

Lot	Building	Building Use / Design Flow Basis	Wastewater (gpd)	Water (gpd)
1	Proposed	Residential Living Unit with 4-bedrooms (based on 7-person occupancy)	490	490
2	Proposed	Residential Living Unit with 4-bedrooms (based on 7-person occupancy)	490	490
3	Proposed	Residential Living Unit with 4-bedrooms (based on 7-person occupancy)	490	490
4	Proposed	Residential Living Unit with 4-bedrooms (based on 7-person occupancy)	490	490
4	Proposed	1-Bedroom Accessory Dwelling Unit (based on 2-person occupancy)	140	140
5	Proposed	Residential Living Unit with 4-bedrooms (based on 7-person occupancy)	490	490
5	Proposed	1-Bedroom Accessory Dwelling Unit (based on 2-person occupancy)	140	140
6	Proposed	Residential Living Unit with 4-bedrooms (based on 7-person occupancy)	490	490
6	Proposed	1-Bedroom Accessory Dwelling Unit (based on 2-person occupancy)	140	140

4.2. The table above reflects the designed capacity for wastewater systems and potable water supplies derived from the uses documented in the permit application. If additional capacities are needed, a permit amendment will be required for the total design flows.

## 5. WASTEWATER SYSTEM

- 5.1. Prior to construction or site work, a designer shall flag the proposed leachfield, and the owner shall maintain the flags until commencement of construction of the system.
- 5.2 Future replacement wastewater areas are identified on the stamped plan(s). There shall be no construction or other activities that will affect the suitability of these areas for the design and construction of a wastewater system.
- 5.3. Prior to the construction of a replacement wastewater system in a replacement area, the landowner shall file an application with the Drinking Water and Groundwater Protection Division pursuant to the Wastewater System and Potable Water Supply Rules.
- 5.4. Should a wastewater system fail and not qualify as a minor repair or for an exemption, the landowner shall engage a qualified Licensed Designer to evaluate the cause of the failure and submit an application to the Drinking Water and Groundwater Protection Division, and obtain approval thereof, prior to correcting the failure.
- 5.5. This permit does not relieve the permittee of the obligations of Title 10, Chapter 48, Subchapter 4, for the protection of groundwater.

## 6. POTABLE WATER SUPPLY

- 6.1. Prior to construction or site work, a designer shall flag the center of the proposed potable water source, and the owner shall maintain the flag until commencement of construction of the source.

Wastewater System and Potable Water Supply Permit  
WW-9-3539

Page 5 of 5

6.2. Should a potable water supply fail and not qualify as a minor repair or for an exemption, the landowner shall engage a qualified Licensed Designer to evaluate the cause of the failure and submit an application to the Drinking Water and Groundwater Protection Division, and obtain approval thereof, prior to correcting the failure.

Julia S. Moore, Secretary  
Agency of Natural Resources



By \_\_\_\_\_ Dated March 17, 2026

Frederic Larsen  
Environmental Analyst VI  
Rutland Regional Office  
Drinking Water and Groundwater Protection Division

cc: Jason Barnard

**Steve Rooney**

---

**From:** jennifer lovett [redacted]  
**Sent:** Wednesday, April 1, 2026 2:09 PM  
**To:** Starksboro Zoning Administrator  
**Subject:** Testimony: Proposed Norris development at 2798 Route 17, S. Starksboro

April 1, 2026

To the members of the Development Review Board,

My husband, Chip, and I own property that abuts the acreage on route 17 in south Starksboro that Alan Norris has proposed to develop into nine lots, including six properties designated as 4-bedroom house lots.

I am a conservation biologist and wrote my Master’s thesis on beavers and their ability to mitigate the effects of climate change. Consequently, I am extremely worried about this important wetland/meadow property being destroyed or ecologically compromised. The extensive beaver habitat that lies at the east of the proposed housing development serves several critical roles. Of particular importance is its ability to absorb snowmelt and runoff from the mountains rising just to the east and north of it. It successfully contains water that would otherwise create potentially damaging flooding and erosion along and under (via culverts) route 17. This area has been designated as a Class II wetland and high conservation priority by the Department of Environmental Conservation. But, in 2018, VT Fish and Wildlife Department biologists identified the beaver wetland complex as, “a site of high conservation priority”. (They even found a rare plant species there.) In addition to storing and managing an enormous amount of water, this property is also important habitat for countless wildlife species. The pond and adjacent meadows (the area to be developed) are utilized every spring and fall by several species of aquatic birds who gather there in preparation for their seasonal migrations. Moreover, the open fields adjacent to the pond (the proposed building site) comprise the only habitat of this type from route 116 in Bristol all the way to Waitsfield, along route 17.

During the devastating storms of the past three Julys, this beaver pond absorbed an enormous volume of water and did not flood or overflow. But, downstream from this wetland, Route 17 was washed out in at least two places by water originating elsewhere. Those of us who live in the area were almost completely isolated for several days in 2024. (Route 17 is a steep, curvy, and vulnerable road that really does not need to be stressed by more traffic than it already endures.) Without the intact beaver dam and pond, damage from these storms to infrastructure and residences downstream on Hallock Brook could have been quite severe.

As you know, last summer Vermont experienced a severe, in fact historic, drought. Springs, streams, and some rivers dried up and Lake Champlain reached historic low levels. But, if you live near, or passed by, a beaver pond, you might have noticed that the water levels did not recede. My family has a spring-fed pond, normally quite large and about 7 feet deep in the middle. Last summer it dried up until it was only about 2 feet deep, with about five feet of steep exposed bank and no water entering at all. The Norris property, with its extensive beaver wetland, is just to the north of us. During the same drought, while our pond rapidly dried up, there was no noticeable change in the wetland water level. It remained full of water all summer providing a source of water to wildlife and plants. Many studies have demonstrated that beaver ponds and their associated wetlands store vast amounts of water underground. The water table expands and deepens in wet periods, absorbing flood waters, and shrinks to release water in periods of drought. Beaver ponds and wetlands are

critically important for those reasons as well as for their role in protecting and enhancing biodiversity. These areas in our landscape should be well protected from exploitation and destruction as we face more challenges associated with climate change.

Another issue you may want to consider is that this section of Route 17 is notorious in the summer months for attracting heavy motorcycle traffic and for the number of accidents that happen here. These vehicles are exceedingly noisy and very annoying to those of us who live in the neighborhood. Riders tend to pick up speed on the uphill section from the Jerusalem store heading towards Buels Gore. Just a few years ago there was a fatal motorcycle accident at the very spot that the Norris development proposes to have their road intersect route 17. The residents of the development, which has no trees of any size at all to buffer sounds, will be exposed to an enormous amount of road noise from motorcycles and loud trucks.

I hope you will carefully evaluate Alan Norris's plans in terms of their environmental impact. Please add protections to the wetland area so that the wildlife habitat and integrity of the pond is not degraded or destroyed. This unique and beautiful property offers spectacular views of the surrounding hills and wetland that are enjoyed by many people throughout the year.

Thank you for considering my comments.

Sincerely,

Jennifer Lovett

Exhibit Y

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Jennifer Lovett, MA, MS  
348 Sam Stokes Road  
Starksboro, VT 05487



## Steve Rooney

---

**From:** Steve Rooney  
**Sent:** Monday, April 6, 2026 9:21 AM  
**To:** 'Jeff Olesky'  
**Cc:** Jason Barnard; 'Scott Baker'  
**Subject:** RE: RE: Stormwater threshold for 26-DRB-01PUD Norris

Exhibit Z

Jeff, thanks for this clarification.

Regards,



Stephen Rooney  
Zoning Administrator  
Town of Starksboro  
Direct Line: 802-453-2768  
zoning@starksborovt.org  
Office Hours Mon & Tues 9am - 3:30pm

---

**From:** Jeff Olesky <jeff@ccevt.com>  
**Sent:** Wednesday, April 1, 2026 8:45 AM  
**To:** Steve Rooney <srooney@starksborovt.org>  
**Cc:** Jason Barnard <jason@barnardandgervais.com>; 'Scott Baker' <scott@barnardandgervais.com>  
**Subject:** RE: RE: Stormwater threshold for 26-DRB-01PUD Norris

Hey Steve,

The ½ ac. only applies if there is all new development on a currently undeveloped parcel (not the case here).

The redevelopment calculation only applies to existing impervious that is modified/changed/reconstructed with new impervious (say changing gravel to building, as an example). So you would need to “redevelop” over ½ ac. to initiate this trigger (which again is not the case here). Reclaiming existing impervious does not qualify as redevelopment.

Lastly, the more than 5,000 sf addition only applies if the resulting total impervious is over 1.0 ac. (which again is not the case).

So in summary, it’s our professional opinion, that this project does not meet any of the thresholds to require a State 3-9050 permit. I certainly agree the language in the State Stormwater Rule can be very ambiguous at times. And we’ve spent many hours with Kevin and Padraic in the past trying to determine which projects do and don’t qualify for exemptions.

All that said, we’re fairly certain a State Stormwater Operational permit is not required here. However B&G is aware of the additional local stormwater requirements.

If any of this is still not clear, please feel free to call me to discuss.

**Jeffrey Olesky, P.E.**

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**From:** Steve Rooney [<mailto:srooney@starksborovt.org>]  
**Sent:** Wednesday, April 01, 2026 6:39 AM  
**To:** [jeff@ccevt.com](mailto:jeff@ccevt.com)  
**Subject:** Fwd: RE: Stormwater threshold for 26-DRB-01PUD Norris

Hi Jeff, here's an email you may have missed.

Steve Rooney

----- Forwarded message -----

From: Steve Rooney <[srooney@starksborovt.org](mailto:srooney@starksborovt.org)>  
Date: Mar 30, 2026 11:35 AM  
Subject: RE: Stormwater threshold for 26-DRB-01PUD Norris  
To: 'CCE' <[jeff@ccevt.com](mailto:jeff@ccevt.com)>  
Cc: 'Jason Barnard' <[jason@barnardandgervais.com](mailto:jason@barnardandgervais.com)>, 'Scott Baker' <[scott@barnardandgervais.com](mailto:scott@barnardandgervais.com)>

Jeff – sorry to keep on about this, I want to be clear not just for this application but for others down the road as well. You note below the 1/2 acre threshold only applies to undeveloped properties.

10 VSA 1264(c)(1) refers to “construction or *redevelopment*” of one-half acre or more which seems to apply to existing developed sites as well.

*(1) A person shall not commence the construction or redevelopment of one-half of an acre or more of impervious surface without first obtaining a permit from the Secretary.*

10 VSA 1264(b)(9) defines redevelopment:

*(9) “Redevelopment” or “redevelop” means the construction or reconstruction of an impervious surface where an impervious surface already exists when such new construction involves substantial site grading, substantial subsurface excavation, or substantial modification of an existing stormwater conveyance, such that the total of impervious surface to be constructed or reconstructed is greater than the minimum regulatory threshold.*

To add to the confusion, see 10 VSA 1264(c)(5):

*(5) A person shall not expand existing impervious surface by more than 5,000 square feet, such that the total resulting impervious area is greater than one acre, without first obtaining a permit from the Secretary.*

In this case, it appears that the applicant is proposing to remove existing impervious and replace it with new impervious, not simply add new impervious to old, so I’m guessing 1264(c)(5) does not apply, but that (c)(1) does?

Regards,

Exhibit Z



Stephen Rooney  
Zoning Administrator  
Town of Starksboro  
Direct Line: 802-453-2768  
[zoning@starksborovt.org](mailto:zoning@starksborovt.org)  
Office Hours Mon & Tues 9am - 3:30pm

---

**From:** Steve Rooney  
**Sent:** Tuesday, March 24, 2026 9:05 AM  
**To:** 'CCE' <[jeff@ccevt.com](mailto:jeff@ccevt.com)>  
**Cc:** Jason Barnard <[jason@barnardandgervais.com](mailto:jason@barnardandgervais.com)>; Scott Baker <[scott@barnardandgervais.com](mailto:scott@barnardandgervais.com)>  
**Subject:** RE: Stormwater threshold for 26-DRB-01PUD Norris

Perfect, thanks for clarifying Jeff.

Regards,



Stephen Rooney  
Zoning Administrator  
Town of Starksboro  
Direct Line: 802-453-2768  
[zoning@starksborovt.org](mailto:zoning@starksborovt.org)  
Office Hours Mon & Tues 9am - 3:30pm

---

**From:** CCE <[jeff@ccevt.com](mailto:jeff@ccevt.com)>  
**Sent:** Monday, March 23, 2026 4:57 PM  
**To:** Steve Rooney <[srooney@starksborovt.org](mailto:srooney@starksborovt.org)>  
**Cc:** Jason Barnard <[jason@barnardandgervais.com](mailto:jason@barnardandgervais.com)>; Scott Baker <[scott@barnardandgervais.com](mailto:scott@barnardandgervais.com)>  
**Subject:** Re: Stormwater threshold for 26-DRB-01PUD Norris

Hey Steve,

The 0.5 ac. threshold only applies to existing, completely undeveloped, properties. If there is any existing impervious surface, as is the case here, then the threshold is 1.0 ac.

And I believe B&G is aware of the local stormwater requirements and plans to include material to address this during the local review. Thankfully it looks like we're dealing with highly sandy, infiltrative, soils here, so there should be plenty of opportunity for disconnection and infiltration.

Jeffrey Olesky, P.E.  
Catamount Consulting Engineers, PLLC  
P.O. Box 65067, Burlington, VT 05406  
Tel: (802) 598-8081

On Mar 23, 2026, at 3:57 PM, Steve Rooney <[srooney@starksborovt.org](mailto:srooney@starksborovt.org)> wrote:

Hi Jeff, thanks for your notes below and clarifying the gravel pit reclamation vs impervious in Note 11 on S-1.

My specific question below was whether the state had dropped the threshold to 1/2 acre per 10 VSA 1264(c)(1) as noted by our consultant, and whether if true that affects this application.

Also, if the new net impervious will be ~0.8acres, that would qualify this application as a major stormwater project (over 10,000sf) in the SLUDR per Section 331.A(2), which requires the submission of a Stormwater Management Plan. I'm not implying that plan has to be elaborate, as per the narrative the application is engaging simple methods to address 424.D(5) as required by 427.D(8), but I believe it should be noted this way in the narrative, and may need more plan documentation/illustration vs. a paragraph statement.

Regards,  
<image003.png>

Stephen Rooney  
Zoning Administrator  
Town of Starksboro  
Direct Line: 802-453-2768  
[zoning@starksborovt.org](mailto:zoning@starksborovt.org)  
Office Hours Mon & Tues 9am - 3:30pm

---

**From:** Jeff Olesky <[jeff@ccevt.com](mailto:jeff@ccevt.com)>  
**Sent:** Monday, March 23, 2026 2:47 PM  
**To:** Steve Rooney <[srooney@starksborovt.org](mailto:srooney@starksborovt.org)>  
**Cc:** Jason Barnard <[jason@barnardandgervais.com](mailto:jason@barnardandgervais.com)>; 'Scott Baker' <[scott@barnardandgervais.com](mailto:scott@barnardandgervais.com)>  
**Subject:** FW: Stormwater threshold for 26-DRB-01PUD Norris

Hey Steve,

Not sure if we've crossed paths before, but I assist Barnard & Gervais with some of their State permitting. Specifically as it relates to stormwater on many occasions. I've been designing stormwater treatment systems in Vermont for 20+ years.

Based on the information Jason has provided, and in review of the design plans, I agree with Jason's assessment that this project (Norris 9 Lot Subdivision at 2798 Rt. 17) would not require a State Stormwater Discharge permit. Specifically because this is a previously developed property that is not proposing more than 1.0 ac. of impervious area. As shown, and as indicated by Jason, it appears to be 0.80 ac.

Regarding the existing gravel pits and access roads – if these areas are fully reclaimed and brought into compliance with the post construction soil quality standard, they would not contribute to the imperious total. It is my understanding that these areas will be fully reclaimed as part of the project.

If you have any questions or concerns about this assessment, please feel free to contact me.

Sincerely,

**Jeffrey Olesky, P.E.**

Catamount Consulting Engineers, PLLC  
P.O. Box 65067, Burlington, VT 05406  
Tel: (802) 598-8081  
Email: [jeff@ccevt.com](mailto:jeff@ccevt.com)

**From:** Jason Barnard [<mailto:jason@barnardandgervais.com>]  
**Sent:** Monday, March 23, 2026 2:33 PM  
**To:** Jeff Olesky <[jeff@ccevt.com](mailto:jeff@ccevt.com)>  
**Subject:** Fwd: Stormwater threshold for 26-DRB-01PUD Norris

Jeff,

Here is the email from Steve Rooney. If you can respond that would be great.

Jason

----- Forwarded message -----

**From:** Steve Rooney <[srooney@starksborovt.org](mailto:srooney@starksborovt.org)>  
**Date:** Tue, Mar 17, 2026 at 5:01 PM  
**Subject:** Stormwater threshold for 26-DRB-01PUD Norris  
**To:** [jason@barnardandgervais.com](mailto:jason@barnardandgervais.com) <[jason@barnardandgervais.com](mailto:jason@barnardandgervais.com)>, [scott@barnardandgervais.com](mailto:scott@barnardandgervais.com) <[scott@barnardandgervais.com](mailto:scott@barnardandgervais.com)>

Jason and Scott

Discussing various projects with our zoning consultant today, he mentioned the state stormwater threshold for new or redeveloped impervious is now 1/2 acre per 10 VSA 1264(c)(1)? Just looking at our recent correspondence on the Norris proposal and curious if this applies or if we are still below the threshold.

<image004.jpg>

Regards,  
<image005.png>

Stephen Rooney  
Zoning Administrator  
Town of Starksboro  
Direct Line: 802-453-2768  
[zoning@starksborovt.org](mailto:zoning@starksborovt.org)

Office Hours Mon & Tues 9am - 3:30pm

Exhibit Z

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Sincerely,

Jason Barnard  
Licensed Designer  
P: (802) 482-2597  
[jason@barnardandgervais.com](mailto:jason@barnardandgervais.com)

Office Hours:  
Monday through Friday, 8:00 a.m. until 5:00 p.m.

Town of Starksboro  
Development Review Board  
Minutes (DRAFT)  
March 26, 2026

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Members Present: Ben Campbell, Evelyn Boardman, Rob Liotard, Tom Perry, Arnell Paquette, Luke McCarthy, Rich Warren

Members Not Present:

Applicants Present: Scott Depinto (via Zoom)

Visitors: Dale Norton, Brant Gordon

Others Present: Stephen Rooney, Zoning Administrator

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Meeting called to order by Chair Ben Campbell at 6:33 pm

**Changes to the Agenda:**

None

**Public Comment:** None

**3/12/2026 Minutes Review:**

Revise Page 3 Paragraph 4 to remove the word “to” as follows:  
(clear direction to not to include it in the bylaws.)

**Motion:**

R.Liotard moved to accept the 3/12/2026 minutes as amended  
E.Boardman seconded.

**Vote:** All in favor

**Review of final draft of Starksboro DRB Rules of Procedures and Conflict of Interest Policy**

Continued review of the final draft from the 2/12/26 meeting.

Amendments agreed to by the group:

Section III.F Ex Parte Communication : Change ”a member of an appropriate munical panel” to  
“a member of the DRB”

Section IV, first paragraph, remove strikethrough reference.

**Motion:** E.Boardman moved to approve the final draft of the DRB Rules of Procedure and Conflict of Interest Policy as amended. A.Paquette seconded.

**Vote:** All in favor. S.Rooney noted the draft would be amended as noted above and signed later during the deliberative session.

### **Hearing #26-DRB-02CU Depinto Retroactive Conditional Use Review**

Conditional Use Review Review Hearing opened at 6:42pm

Introductions and Sign-in Sheet distributed.

B.Campbell asked the visitors if they wished to be considered interested parties. D.Norton and B.Gordon declined.

B.Campbell read the warning.

B.Campbell swore in the applicant.

B.Campbell asked if there were any conflicts of interest or Ex parte communications. None were reported.

#### **Testimony:**

S.Depinto described the existing development, and reviewed the letter and review criteria included in Exhibit C.

S.Depinto noted that the camp was built prior to them understanding that a permit may be required, which they didn't realize until they were filling out an SPIR (Seller's Property Information Report) when putting the property up for sale.

S.Depinto noted that his forestry plan and map required by his State Current Use designation has been updated and re-filed with the state by his forester to pull 2 acres out of the current land use for the camp development.

B.Gordon asked if there was any commercial use of the camp. S.Depinto said there was no rental or other commercial use.

S.Depinto expressed his opinion that addressing the lack of prior approval by requiring the relocation or removal of the camp would require heavy machinery and cause more disturbance than was caused by the original construction. He noted the materials for building were hand carried or brought out with an ATV, and that excavation and clearing was very minimal.

E.Boardman asked about the function of the toilet in the photographs. S.Depinto noted it was a toilet containing a bagged bucket with coconut shells.

R.Liotard asked if the potential buyers had any vested interest in the camp. S.Depinto noted that couple consider the camp a "cherry on top" but not a main feature of the sale.

B.Gordon asked about the setback to the closest boundary of the Morrisey property (Lot 1A in Exhibit E). S.Rooney noted the setback would need to be 20ft. S.Depinto noted that the approx.. distance according to scale is more than 240ft.

R.Liotard asked if there were any legally proposed restrictions placed on the camp in the sales agreement. S.Depinto did not note any and said the camp and its permitting issues were fully disclosed to the potential buyers.

**Motion:**

B.Campbell moved that the application be accepted as meeting the criteria required to conduct the Conditional Use Review Hearing. R. Liotard seconded.

**Vote:** All in favor.

B.Campbell read the exhibit list. S.Rooney noted there were no additions to be made.

**Motion:**

A.Paquette moved to close the hearing. B.Campbell seconded.

**Vote:** All in favor.

The applicants and visitors were dismissed.

**Motion:**

R.Liotard moved to go into Deliberative Session at 7:29pm. A.Paquette seconded.

**Vote:** All in favor.

**Motion:**

B.Campbell made a motion to adjourn at 9:05pm. E.Boardman seconded. **Vote:** All in favor.